



**CITY OF DUARTE
PLANNING COMMISSION
M I N U T E S
August 21, 2017**

**Planning Commission
Commissioners**
Paula Watson-Gardner, Chair
Sara Vasquez, Vice-Chair
George K. Farra
Sheryl Lefmann
Shauna Pierce

1. CALL TO ORDER AND NOTATION OF ABSENCES

Due to the absence of the Chairperson, Pierce motioned for Lefmann to be the Acting Chairperson and seconded by Farra. Motion approved 3-0-2-0. (Vote: Yes: Farra, Lefmann, Pierce; No: None; Absent: Watson-Gardner, Vasquez; Abstain: None).

Acting Chairperson Lefmann called the meeting to order at 7:03 p.m.

The following were in attendance:

PRESENT:	Lefmann, Farra, Pierce
ABSENT:	Watson-Gardner, Vasquez
STAFF:	Hensley, Golding, Baldwin, Eoff IV, Hernandez

2. PLEDGE OF ALLEGIANCE

Commissioner Farra led the Pledge of Allegiance.

3. APPROVAL OF MINUTES – June 19, 2017

Commissioner Farra moved to approve the minutes. Seconded by Commissioner Lefmann. Motion approved 2-0-2-1. (Vote: Yes: Farra, Lefmann; No: None; Absent: Watson-Gardner, Vasquez; Abstain: Pierce).

4. ORAL COMMUNICATIONS – ITEMS NOT ON THE AGENDA

Acting Chair Lefmann opened the Oral Communications item. Seeing none Oral Communications were closed.

5. PUBLIC HEARINGS

A. Site Plan and Design Review 2017-16: Construction of a new single-story addition of 3,127 square-feet to the Familian Building on the City of Hope Campus (CRU Building)

Associate Planner Eoff IV presented a detailed staff report of the new single-story 3,127 square-foot addition to the Familian Building on the City of Hope Campus (CRU Building project). Eoff IV noted that non-residential additions greater than 2,500 square feet require a recommendation from the Architectural Review Board (ARB) and final approval from the Planning Commission. He added that the ARB recommended approval of the project at the ARB meeting of July 24, 2017.

Eoff IV provided a description of the existing Familian Building and stated that the proposed new addition would resemble the same unique architectural style, but would incorporate more glass than the existing Familian Building. Eoff IV stated the glass would be located on the north and west elevations and would include a pattern designed to mimic the exterior finish of the existing Familian Building. Eoff IV also described a variety of site improvements such as landscape, concrete walkways, and outdoor seating areas that will also be included with the project.

Eoff IV stated that based on the information provided in the Staff Report and the recommendation from the Architectural Review Board, Staff recommends the Planning Commission adopt PC Resolution 17-10, approving ARB Site Plan and Design Review Case 2017-16, subject to conditions of approval.

Acting Chair Lefmann opened Commissioners' inquiries.

Farra referenced the conditions of approval, Exhibit B-1, Item #2, and asked if the City of Hope would consider a change in color to the building addition or to add an accent color to enhance the facility. Eoff IV replied by stating that the exterior color finish was considered at ARB, with the intent to match and complement the existing building color. The City of Hope Representative added that the colors being proposed match the existing building and the other exterior textures and materials would enhance the project to allow for a consistent look.

Lefmann asked for clarification on the presented rendering A-102; item 4, regarding the new exterior storefront type. Eoff IV clarified the item is referring to the glass.

Acting Chair Lefmann closed Commissioners inquiries and open Public Comments, seeing none Public Comments was closed.

Pierce motioned to approve PC Resolution 17-09. Seconded by Farra. Motion was approved 3-0-2-0. (Vote: Yes: Lefmann, Farra, Pierce; No: None; Absent: Watson-Gardner, Vasquez; Abstain: None).

6. ITEMS FROM DIRECTOR

Hensley introduced Nick Baldwin, Associate Planner, and Duarte resident. He previously worked in the City of Arcadia and welcomed him to the Community Development Department.

Hensley congratulated the Commission and everyone that participated in the process of the Town Center Specific Plan and informed the Commissioners that the Plan was nominated for the State APA Planning Award of Excellence for its innovative content, strong economic development aspect, and public participation process. The Plan has already received the regional APA Planning Award for Comprehensive Plan, small jurisdiction. He stated it's an honor and a testament to the work the City Council, Commissions, Ad Hoc Committee, Staff, and Consultant have contributed to this plan.

Hensley informed the Commission of a Grant received from the Southern California Association of Governments (SCAG) for a plan to implement the traffic calming and urban greening component (e.g. parklets and bulb-outs) of the Town Center Specific Plan.

He informed the Commission of the Entry Sign Contract that the City Council approved, with commencing construction in October. Hensley also provided a brief update on the City of Hope EIR & Specific Plan – that it was nearing completion and will soon be ready for release to the public.

Farra asked about the ownership and Leasing Agency of the empty lot from previous Sparr Liquor Store. Hensley discussed the City ownership of the vacant lot and the exclusive negotiating agreement the City has with the developer.

7. ITEMS FROM COMMISSIONERS

Pierce commented on the low traffic impact for the Royal Oaks School and Duarte High School versus the anticipated concern of heavy traffic. She also asked about the new occupants at the old Starbuck location. Hensley stated he had a discussion with the shopping center owner and there will soon be substantial changes to those suites.

Lefmann thanked Jason Golding for his work in the transaction of moving the Chamber of Commerce to its new facility at 1735 Huntington Drive.

Lefmann discussed her final attended meeting of the SR 710 SOAC Metro EIR project.

8. ADJOURNMENT

Acting Chair Lefmann adjourned the meeting at 7:30 p.m.

Craig Hensley, Secretary



**CITY OF DUARTE
PLANNING COMMISSION
MINUTES
September 18, 2017**

**Planning Commission
Commissioners**
Paula Watson-Gardner, Chair
Sara Vasquez, Vice-Chair
George K. Farra
Shauna Pierce

1. CALL TO ORDER AND NOTATION OF ABSENCES

Chairperson Watson-Gardner called the meeting to order at 7:01 p.m.

The following were in attendance:

PRESENT: Watson-Gardner, Vasquez, Farra, Pierce
ABSENT: None
STAFF: Hensley, Golding, Eoff IV, Hernandez
DEPUTY CITY ATTORNEY: Alisha Patterson

2. PLEDGE OF ALLEGIANCE

Commissioner Pierce led the Pledge of Allegiance.

3. APPROVAL OF MINUTES – August 21, 2017

Deputy City Attorney Patterson advised the Commission to move the approval of minutes to the next month's meeting, due to a lack of quorum from the August 21, 2017 meeting,

4. ORAL COMMUNICATIONS – ITEMS NOT ON THE AGENDA

Chairperson Watson-Gardner opened the Oral Communications item.

Sheryl Lefmann expressed her gratitude to the Commission and Staff after serving 8 years on the commission. Lefmann stated that she accepted the position as the new President of the Chamber of Commerce.

5. PUBLIC HEARINGS

A. ARB Site Plan & Design Review Case 17-15: A new mixed-use development containing 3,440 square feet of ground-floor commercial space, 2,122 square feet of ground-floor live/work space, and 161 market-rate residential apartments, constructed around a multi-level parking garage located at 1405-1437 Huntington Drive

Hensley, prior to introducing Planning Staff, familiarized the commission with the project by letting them know that it is a partnership project between The Richman Group of California, MJW Investments and the City of Duarte and that the project is the first to be implemented under the Town Center Specific Plan.

Eoff IV provided the background of the project and the Disposition and Development Agreement details between the City, MJW Investments and the Richman Group of California. He added that there were 46 notices mailed with no correspondence received as of this evening and noted that the project was presented to the Architectural Review Board on September 5, 2017 where it was recommended for approval.

Eoff IV described the property by use of a power point and provided development and architectural details of the project, including: location of the 161 market-rate apartments that are comprised of studio, one-bedroom, and two-bedroom options; commercial/retail space located along the ground-floor of the south elevation of the project designed to serve one to four tenants; live/work space located along the ground-floor of the south elevation at east end of the project, designed to provide commercial opportunities to all apartment residents; multi-level parking garage located within the center of the project that will be fully screened by the apartment building and accessible from Huntington Drive; and a new driveway and traffic signal at the intersection of Huntington Drive and Brycedale Avenue.

Eoff IV also provided details of the surface parking along the west side of the property line, public amenities provided, and additional site improvements that include open areas such as courtyards, public seating, parklets, public art piece, widened sidewalk, new landscaping, pedestrian lighting, full phase traffic signal, crosswalks, and ADA accessible ramps.

Eoff IV ended his presentation and indicated that the representatives from the Richman Group, MGW Investments and Architects Orange were present.

Hensley pointed out to the letter from the City of Hope that was provided to the Commission expressing a positive impression of additional residential choices in the community.

Commissioner Farra inquired about the additional parking on the west side of the project property line, the easement at that location and asked to clarify the live/work space. Eoff IV clarified the location of the additional parking, the easement and explained the live/work space concept and how it may function within the apartment community.

Commissioner Vasquez inquired about trash pick-up logistics and the impacts on Huntington Drive. Hensley and Eoff IV explained the use of smaller vehicles to collect bins from within the project, pick-up frequency based on coordination between Burrtec and the apartment owners, and that trash impacts will not be more than what is existing at other apartments fronting Huntington Drive.

Luke Daniels, president of The Richman Group of California, gave a background and provided details of the company on how they self-manage the communities they build, and thanked the planning staff for the collaborative efforts to make this project. Mr. Daniels also gave a detailed description how the project was designed using sound mixed-use and urban planning principles and commented on the work they have done to communicate with the community adjacent to the proposed project.

Chairperson Watson-Gardner Open Public Hearing:

Manoj Patel, previous Committee Member of the Down Town Task Force, and Town Center Task Force, commended Staff for the updates and process of this project. He provided information of the Town Center Specific Plan development and stated that there is demand for more residential space in the City and supports the project.

Nathan Kirschenbaum, 1416 Third Street, resident, previous member of the EDC and the Ad Hoc Committee applauded the relationship of the project with the Town Center Specific Plan and appreciated the developer's communication with the community.

Steve Hernandez stated the project not only took into consideration the needs of the community but the City as a whole and will provide an amazing place to live with all the new amenities. He also commented on the School of the Arts families that are moving into town that will need appealing housing. He asked for the support of the project.

Rana Madain, 3232 Shadylawn Drive, local realtor, and previous member of the Town Center Ad Hoc Committee stated she supports the project considering the lack of inventory of residential properties available in the community.

Jim Kirchner, Chamber of Commerce previous President, and Sheryl Lefmann, Chamber of Commerce current President, mentioned that the project meets and exceeds the desires of the City and are pleased to see the project come into fruition to boost and help the businesses thrive.

Lidia Silonie, Duarte Resident, inquired about a traffic analysis for the project and how will the new traffic impact the current traffic on Huntington Drive.

Ivonne Bonadilla, Property Owner, stated she is concerned about the traffic on Huntington Drive and existing business vacancies; and inquired about additional egress/ingress for vehicles in case of an emergency.

Aaron Saenz, 1388 Third Street, stated he is also concerned about traffic on Huntington Drive and inquired about any changes to speed limits. He also stated that he is concerned that the new building will block visibility from housing to the north.

Chairperson Watson-Gardner closed Public Hearing and opened Commissioners Comments.

Staff addressed concerns of residents as follow:

Hensley explained that there is a project condition to fill commercial/retail spaces; if spaces become vacant for long periods of time the owner/developer will create a plan to reduce lease rates.

Eoff explained that there was an Environmental Impact Report produced for a complete buildout, which was done prior to the existing project, where it demonstrated no significant traffic impact. Eoff added that an additional analysis for air quality and vehicles miles traveled/trips on Huntington was conducted and there were no significant impacts.

Chairperson Watson-Gardner opened Commissioner's Discussion.

Farra stated that with the proposed installation of a traffic signal the traffic volumes may be reduced, therefore, he is not concerned with traffic impacts on Huntington Drive; he is concerned about the added water and power usage and how it will impact the current systems; and inquired if the project must be certified as LEED.

Pierce expressed that school district enrollment is up after multiple years and mentioned this kind of development may assist with improvements.

Vasquez shared her concerns about vacant retail/commercial buildings and stated that she is glad that there is a condition to mitigate this concern. She also mentioned that solar panels should be implemented for this project.

Chair stated she is excited about the project and the growth it will bring with it.

Pierce motioned to adopt PC Resolution 17-11, approving Site Plan and Design Review Case 2017-15. Seconded by Vasquez. Motion was approved 4-0-0-0 (Vote: Yes: Watson-Gardner, Vasquez, Farra, Pierce; No: None; Absent: None; Abstain: None).

- B. ARB Site Plan & Design Review Case 17-05; and Conditional Use Permit 17-01:** Demolition of the existing McDonald's restaurant and construction of a new 3,827 square-foot McDonald's restaurant with a new double-lane drive-thru, outdoor dining area, and late-night/twenty-four hour operation.

Item to be continued to next meeting

6. ITEMS FROM DIRECTOR

Hensley provided update on the Third Street and Oak project, the old Sparr Liquor site, and stated that The Habit will be pulling permits to occupy the old Starbucks and Curves sites.

7. ITEMS FROM COMMISSIONERS

Farra reiterated that the new mixed-use development should contain sustainability and quality.

Pierce stated that there much need to support the Duarte High choir whom are going to New York to perform.

8. ADJOURNMENT

Chairperson Watson-Gardner adjourned the meeting at 8:24 p.m.

Craig Hensley, Secretary



PLANNING COMMISSION STAFF REPORT

Date: October 16, 2017

Project: Conditional Use Permit 17-01 and Site Plan and Design Review 17-05

Subject: Demolition of Existing McDonald's Restaurant Building and Construction of a New McDonald's Restaurant Building with a New Double-Lane Drive-Thru, Outdoor Dining Patio, and Late Night/Twenty-Four Hour Operation

Location: 1122 Huntington Drive

Applicant: Bickel Group Architecture (for McDonald's)

SUMMARY

McDonald's is proposing to replace the existing building and drive-thru with a new restaurant building with upgraded site improvements. The new restaurant will be larger with an improved interior dining area, improved ordering service, and more efficient kitchen equipment. The site will also be improved with a new double-lane drive-thru, parking areas and parking lot lighting, outdoor dining patio area, and new landscape. The building will be designed with a modern architectural style that is consistent with the McDonald's corporate image.

BACKGROUND

A Conditional Use Permit and Site Plan and Design Review is required for the construction of a new restaurant with late night/twenty-four hour operation, outdoor dining, and a drive-thru service. Pursuant to Section 19.122.050(C) of the Duarte Development Code, the Architectural Review Board is the recommending body for the site plan and design review application, and the Planning Commission is the final decision making body. On July 24, 2017, the Architectural Review Board recommended approval of the project, with conditions, for the Planning Commission's consideration.

The Duarte McDonald's was constructed in the late 1960's as a drive-up restaurant. Over the years the restaurant has completed several remodel projects, including the construction of the drive-thru in 1985. The drive-thru, which was a major improvement to the McDonald's operation, was approved by the Architectural Review Board through the site plan and design review process. At the time, the current zoning of the McDonald's property was C-2, which did not require a conditional use permit for the operation of drive-thru business. The zoning designation for the property was eventually changed to Commercial-Professional (C-P). The C-P zone currently does not permit drive-thru operations, thus making the existing drive-thru for McDonald's a legal nonconforming use. As a legal nonconforming use, the drive-thru operation can continue subject to the requirements of Section 19.96.010 of the Duarte Development Code.

PROPERTY DESCRIPTION

The project site is located within the C-P Commercial Professional zone and currently improved with an existing McDonald's restaurant. The site is accessible from Huntington Drive. The property is roughly 27,000 square feet (0.61 acres), with a street frontage width of approximately 150 feet. The site is adjacent to commercial property to the east and west. Single-family residential properties are

located to the south but not directly adjacent to the subject property, as the existing alley creates separation between the two.

PROJECT DESCRIPTION

McDonald's is proposing to replace the existing restaurant and amenities with a new restaurant building and new amenities as part of a comprehensive rebuild and rebranding of McDonald's restaurants. The demolition phase will include the removal of the existing restaurant building, foundation, outdoor dining area, and children's play area; removal of the asphalt/concrete drive aisles and parking areas, and two driveway approaches; removal of all parking lights; and removal of all freestanding signs, including the directional signs and drive-thru signs. Following completion of the demolition and site clearance, the rebuilding phase will include the following:

- Construction of a new restaurant building, roughly 3,827 square feet, with updated architectural style. The McDonald's branding incorporates a modern architectural style using parapet walls and tower features, and variety material finishes that complement the modern architecture.
- New outdoor dining area adjacent to Huntington Drive, roughly 1,350 square feet. The outdoor dining area will provide additional tables and seating for dine-in customers. The patio will be finished using a decorative colored concrete and will incorporate landscape planters and planter boxes.
- New drive-thru with a double lane at the order board, and new drive-thru signs. The new drive-thru will begin along the west side of the building and circulate around to the order menu at the south (rear) and back to the pick-up window on the east side of the building. The drive-thru lane will be separate from the drive aisle parking lane. It will range from 10 feet to 12 feet wide, and will provide queuing for up to 12 vehicles. The double-lane will only occur at the order menu along the rear of the building. The rest of the drive-thru will remain as a single lane.
- Site improvements and upgrades: new 45-degree angled parking, new landscape, new parking lot lights, enhanced paving at the driveway approach, new trash enclosure, regrading of the entire site

ANALYSIS

Conditional Use Permit

The CUP request contains several discretionary uses that may impact the residential property to the south. However, all the requested services may be conditioned in a manner that avoids or minimizes potential negative impacts. The hours of operation, outdoor patio, and drive-thru are discussed below.

Hours of Operation. McDonald's hours of operation are from 5:00 A.M. to 2:00 A.M., seven days a week for the dining area, and twenty-four hours, seven days a week for the drive-thru. Pursuant to DDC 19.60.110, any business operation between the hours of 12:00 A.M. midnight and 6:00 A.M. is subject to approval of a conditional use permit for "late night and/twenty-four hour uses". The need for certain businesses to operate under extended hours is typical, however, such hours still pose a concern when located in proximity to uses that may be sensitive to noise, lighting, or other onsite

activity. McDonald's is adjacent to a single-family residential zone to the south. It is unlikely that the dining area activity will cause an impact on the residential property, due to the substantial distance between the two. However, the location of the drive-thru order menu and speaker is located at the rear of the McDonald's property. This creates a concern as noise from the speaker and lighting/glare from headlights or the illuminated drive-thru signs can potentially create an impact or disturbance on the residential properties. To ensure the residential properties are not impacted by the late night operation, conditions of approval have been added to require compliance with the City noise ordinance and outdoor lighting requirements. Additionally, the drive-thru operation will require additional review and conditions (discussed below) to further ensure compliance with the Duarte Development Code and minimize impacts on the residential properties. With the added conditions, it is unlikely the hours of operation will affect the public health, safety and welfare of the City.

Outdoor Patio. The McDonald's outdoor patio area is approximately 1,350 square feet, adjacent to Huntington Drive. The patio is classified as "Outdoor dining area – General", and is regulated by Section 19.60.120 in the Duarte Development Code. The patio is allowed with an approved conditional use permit, and is subject to site plan and design review approval. The patio will include a decorative colored concrete finish and provide new upgraded tables and chairs. Several conditions of approval will be included to ensure safe and orderly use of the outdoor patio is maintained. Conditions such as: (1) a barrier between the patio and drive through, parking areas, and Huntington Drive right of way, (2) landscaping to include but not limited to outdoor planter boxes within the patio (3) continual clean-up and maintenance of the outdoor dining area and (4) review and approval of the design compatibility of the physical elements in the patio (i.e. furniture, umbrellas, barriers), among others. The patio will provide an added amenity to the McDonald's operation and will be designed to complement the overall property.

Drive-Thru. McDonald's currently contains a single drive-thru lane with a single pick-up window. The current zoning for the McDonald's property is Commercial Professional (C-P), which does not permit drive-thru service. However, the existing drive-thru was originally approved by the Architectural Review Board and constructed in 1985, and has been in operation since. As such, the existing drive-thru is considered a legal nonconforming use.

Chapter 19.96 of the Duarte Development Code provides regulations for nonconforming uses, including modifications to a legal nonconforming uses. Pursuant to Section 19.96.010.C.1.b modifications to a legal nonconforming use may occur if the changes do not increase the degree of nonconformity or produce an intensification of a nonconforming use. The double-lane drive-thru along with an additional pick up window is designed to increase efficiency of the McDonald's operation by getting customers in and out as quick as possible. The double-lane only occurs at the order menu, where most time is spent in the drive-thru. By providing two lanes and two order points the customer wait times are reduced. A reduction in the wait time ultimately reduces the amount of vehicle queuing and stacking, creating less of an impact on the property.

Furthermore, the proposed drive-thru meets the requirements for drive-thru facilities outlined in Section 19.60.050. The proposed drive-thru is inwardly focused, located adjacent to the building in the same manner as the existing drive thru. The drive-thru lane accommodates queuing for up to twelve vehicles, which exceeds the minimum requirements of the DDC. Additionally, the proposed queuing distance and drive-thru does not interfere with on-site parking or drive aisles, nor does it create a reduction in the number of parking spaces. The site currently contains a 6 foot to 8 foot tall

block wall along the south property line. The wall includes an opening for vehicle access from the adjacent alley. The opening is proposed to be closed due to grading and circulation changes to the site. Closing the opening will provide a solid block wall screen along the entire south property line. The wall provides adequate screening of the drive-thru and further reduce any impacts such as headlight glare, menu board/signs glare, as well as sound and noise.

Conditions of approval will be added to ensure the drive-thru maintains compliance with the criteria listed in Chapter 19.60 and does not create an adverse impact on adjacent properties. The drive-thru signs will require separate approval from the Architectural Review Board. The signs, including the order menu and speaker, will be conditioned to comply with the noise ordinance outlined in the Duarte Municipal Code. Conditions such as volume control, sign placement, and sign illumination will be added to further reduce any potential impacts to the nearby residential properties while still allowing efficient use of the drive-thru.

As such, the proposed drive-thru will not increase or intensify the current nonconformity. The improvements in themselves appear to create a better use of the drive-thru and less impact on the property and adjacent uses. The current operation of the drive-thru, including the twenty-four hour operation and the circulation pattern, will not change with the proposed improvements. As part of the overall project proposal, the drive-thru will be regulated by the Site Plan and Design Review approval, as well as the Conditional Use Permit approval. In the event the Planning Commission objects to the proposed drive-thru improvements, McDonald's will have the option to retain the current single-lane drive-thru design and incorporate it into the project proposal.

Security. A security plan does not require approval of a CUP, however, security plans are commonly associated with CUP requests to ensure a safe and orderly operation is maintained. McDonalds will install a new security system that includes interior and exterior surveillance cameras that provide full coverage of the property. A twenty-four hour call service through a contract service provider will be implemented and coordinated with the local law enforcement. The employees will be trained on emergency and safety procedures as well. In addition to the surveillance system, new exterior lighting will be installed to provide adequate illumination of the property in the parking area and around the building perimeter. The security plan will be listed as a condition of approval and will require review from the Public Safety Division and Planning Division prior to installation.

Site Plan and Design Review

The McDonald's image is transitioning from their typical "mansard roof" image towards a modern architectural style. The new restaurant building will incorporate parapet walls and tower-like features. The parapet walls are integrated into the design of the building and serve as screening for rooftop equipment, while the tower features provide relief and movement in the building. The exterior finish includes a variety of materials, such as faux wood, corrugated metal, brick, and plaster, all of which accentuate the design and complement the modern style.

A strong emphasis was placed on the north (front), east, and west elevations, as they are the most prominent from Huntington Drive. Faux wood in a cedar color and charcoal color establish the building's architectural presence and create visual interest. The new storefront windows extend across most of the north (front) elevation and part of the west, creating relief in the design and a pedestrian-friendly image along Huntington Drive. New metal canopies will be mounted above the storefront windows on the north and west elevation as an added element and additional relief. Brick located

along the base of the building creates a subtle complementary accent in the design. The brick is a brownish color, which also blends with other tones in the material palette. The new building will also include several wall-mounted light fixtures that will provide accent lighting along each elevation for added security and aesthetics.

At the July 24, 2017 ARB meeting, the ARB expressed concerns with the architectural details on the east elevation. The applicant has provided a revised design that intends to address the concerns of the ARB while maintaining consistency with McDonald's corporate image guidelines. Staff feels the revised elevations have taken the concerns of ARB into consideration, however, still have potential for improvement. A condition of approval will be added requiring a final review of the exterior elevations, including the colors and materials palette and placement, prior to beginning the Building and Safety plan check process. The condition will ensure the final design addresses the concerns of ARB and meets the design guidelines and criteria outlined in the Duarte Development Code.

Parking and Circulation. The new 45-degree angled parking will improve circulation through the property. Customers will enter from the west driveway approach and exit back on to Huntington using the east approach. The one-way drive aisle allows vehicles to circulate around the building to access parking on either side of building. The property will also be re-graded to improve the slope issues at the driveway approach for a better ingress and egress. The driveway approach will be finished with a decorative stamped concrete for an added appeal along Huntington Drive.

The Development Code requires 20 parking spaces and the site includes parking for 23 vehicles. Additional parking is not required for the outdoor dining area, since the size of the patio does not exceed 50% of the gross floor area of the restaurant, pursuant to Section 19.60.120.6.d of the Duarte Development Code. Therefore, the proposed site plan is consistent with the off-street parking and design regulations set forth in DDC Chapter 19.38.

RECOMMENDATION

Staff recommends that Planning Commission review the information provided and adopt:

1. PC Resolution 17-12 approving Conditional Use Permit 17-01.
2. PC Resolution 17-13 approving Site Plan and Design Review 17-05.

Respectfully Submitted,

David F. Eoff IV
Associate Planner

ATTACHMENTS

Exhibit A: PC Resolution 17-12
Exhibit B: PC Resolution 17-13
Exhibit C: Colored Rendering, Project Plans, and Sample Building Color Elevations

Planning Commission
October 16, 2017



Site Plan and Design Review 17-05
Conditional Use Permit 17-01
Duarte McDonald's
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Exhibit A

RESOLUTION NO. PC 17-12

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DUARTE APPROVING CONDITIONAL USE PERMIT 17-01 ALLOWING THE OPERATION OF A FAST FOOD RESTAURANT WITH LATE-NIGHT/TWENTY-FOUR HOUR OPERATION, AN OUTDOOR DINING PATIO, AND A DOUBLE-LANE DRIVE-THRU FOR MCDONALD'S LOCATED AT 1122 HUNTINGTON DRIVE

WHEREAS, the applicant is requesting approval to operate a fast food restaurant with late-night/twenty-four hour operation at 1122 Huntington Drive; and

WHEREAS, the applicant is requesting approval to construct and use a 1,350 square-foot outdoor dining patio associated with the operation of the fast food restaurant at 1122 Huntington Drive; and

WHEREAS, a commercial land use open to the public twenty-four hours and located within 300 hundred feet of a legal residential use is a conditionally permitted use pursuant to Duarte Development Code Section 19.60.110.C(1); and

WHEREAS, an outdoor dining patio that exceeds 800 square feet is classified as General Outdoor Dining and is allowed as an accessory use to a legally established restaurant with an approved conditional use permit and subject to site plan and design review pursuant to Duarte Development Code Section 19.60.120.2.b; and

WHEREAS, the applicant is requesting to replace an existing drive-thru with a double-lane drive-thru associated with the operation of the fast food restaurant at 1122 Huntington Drive; and

WHEREAS, the Commercial-Professional zone prohibits drive-thru operations; and

WHEREAS, the existing drive-thru lane was legally established prior to the development standards for the Commercial-Professional zone, making the drive-thru a legal nonconforming use, and

WHEREAS, pursuant to Duarte Development Code Section 19.96.010.C, modifications and extensions to legal nonconforming uses may occur if the changes are, in and of themselves, in conformance with the provisions of the Duarte Development Code and the changes are limited to minor alterations or improvements that do not increase the degree of nonconformity present and do not produce an intensification of the nonconforming use; and

WHEREAS, the double-lane portion of the drive-thru only occurs at the order menu, allowing access to two order points; and

WHEREAS, the proposed double-lane drive-thru will increase efficiency of the fast food operation by reducing vehicle wait times and vehicle queuing/stacking on the property; and

WHEREAS, the reduction in wait time, vehicle stacking will create less of an impact on the property under the current drive-thru design and operation; and

WHEREAS, the proposed drive-thru meets the criteria listed in Duarte Development Code Section 19.60.050; and

WHEREAS, the proposed double-lane drive-thru does not intensify or increase the current nonconformity of the drive-thru use and operation, and shall be included as part of the overall project and regulated under the requirements and conditions associated with this Resolution; and

WHEREAS, the Planning Commission has considered the analysis and recommendation provided in the staff report for Conditional Use Permit application 17-01 and all the information, evidence and public testimony received at the public meeting held on October 16, 2017 at 7:00 p.m. in the City Council Chambers;

NOW THEREFORE, the Planning Commission of the City of Duarte resolves as follows:

SECTION 1. That the Planning Commission approves PC Resolution 17-01 with conditions, the request for Conditional Use Permit 17-01 at 1122 Huntington Drive.

SECTION 2. All the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

SECTION 3. The Planning Commission finds and determines as follows, findings for Conditional Use Permits, as set forth in DDC Section 19.114.040(B), as:

1. The proposed use is consistent with the General Plan;

The fast food restaurant with late-night/twenty-four hours, accessory outdoor dining, and a drive-thru service is consistent with Land Use Goal 1 of the General Plan by maintaining a balanced community consisting of various commercial activities. The use is also consistent with the Commercial land use designation by providing neighborhood retail and service uses serving the daily needs of nearby residential areas.

2. The proposed use is allowed within the subject zone and complies with all other applicable provisions of this Development Code and the Municipal Code;

A fast food restaurant with late-night/twenty-four hours, and an outdoor dining patio greater than 800 square feet as an accessory use to the restaurant is allowed with a conditional use permit in the Commercial-Professional (C-P) zone. A drive-thru operation is not permitted in the C-P zone, however a drive-thru was legally approved and constructed prior to the C-P requirement become effective, and as such the drive-thru is considered a legal nonconforming use. As a legal nonconforming use, the drive-thru can continue indefinitely pursuant to compliance with the criteria listed in Section 19.96.010.C of the Duarte Development Code. The improvements to the drive-thru will create a more efficient operation by reducing the wait times, vehicle queuing and vehicle stacking in the drive-thru lane. The double-lane will occur at the order menu only, allowing access to two order points for increased service and less vehicle wait time. Furthermore, the improvements to the drive-thru are in compliance with Section 19.60.050 which provides locational and operational guidelines for drive-thru facilities, and conditions of approval have been included to ensure such compliance. As such, the improvements will not increase the nonconformity of the drive-thru operation.

Additionally, the fast food restaurant containing late-night/twenty-four hours, an outdoor dining patio, and a drive-thru facility are consistent with the purpose of C-P zone by provides and added service and convenience for the community with accessory retail and service uses.

3. The design, location, size and operating characteristics of the proposed use are compatible with the allowed uses in the vicinity;

The project site is located within the C-P Commercial Professional zone and currently improved with an existing McDonald's restaurant. The site is accessible from Huntington Drive. The property is roughly 27,000 square feet (0.61 acres), with a street frontage width of approximately 150 feet. The site is adjacent to commercial property to the east and west. Single-family residential properties are located to the south but not directly adjacent to the subject property, as the existing alley creates separation between the two.

The fast-food restaurant is stand-alone building on an independent parcel. The parcel is roughly 27,000 square feet which is sufficient for the operation of the restaurant, use of the patio, and use of the drive-thru. The fast food operation is compatible with the project site and other uses in the vicinity, including another existing fast food restaurant with a drive-thru adjacent to the east. The noise and activity generated by the use is no greater than the existing operation or those generated by other surrounding uses. the operation of the fast-food restaurant with late-night/twenty-four hours, an outdoor dining area, and an improved drive-thru provide is compatible with surrounding uses and is an added service to the community.

4. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;

The fast food operation with the late-night/twenty-four hour operation, outdoor dining patio, and drive-thru facility will provide an added convenience for the community. The location is suitable for the operation, as it is located along Huntington Drive and surrounded by similar uses. The components such as the late-night/twenty-four hour operation, drive-thru, and outdoor patio have been conditioned to ensure the operation does not create any adverse or detrimental impacts no adverse impacts on the City and surrounding community.

5. The subject site is:
 - a. Physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle (e.g. fire and medical) access and public services and utilities; and
 - b. Served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate.

The site is approximately 27,000 square feet (0.61 acres) in size, which is sufficient for the 3,827 square-foot restaurant building and the added amenities. The property is in the Commercial-Professional (C-P) zone along Huntington Drive, with two access points from Huntington Drive for ingress and egress. Onsite circulation is maintained with a one-way drive aisle that circulates around the restaurant building, which is suitable for the business operation and emergency vehicle access.

SECTION 5. The Planning Commission approves Conditional Use Permit 17-01 based on the findings listed in Section 3 and Section 4 and the conditions listed in "Exhibit A-1".

SECTION 6. The approval of Conditional Use Permit 17-01 by the Planning Commission is exempt from the California Environmental Quality Act (CEQA) pursuant to exemption in Section 15301, Class 1 of Title 14 of the California Code of Regulations. Therefore, no further environmental review is necessary.

APPROVED, AND ADOPTED by the Planning Commission of the City of Duarte at a regular meeting held on the 16th day of October 2017.

Paula Watson-Gardner
City of Duarte Planning Commission

ATTEST:

Craig Hensley, Community Development Director

CITY OF DUARTE
COUNTY OF LOS ANGELES } ss.
STATE OF CALIFORNIA

I, Craig Hensley, Secretary of the Planning Commission of the City of Duarte, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Duarte held on October 16, 2017, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Craig Hensley, Community Development Director

EXHIBIT A-1
Conditions of Approval
Conditional Use Permit 17-01
1122 Huntington Drive

1. This approval is for the operation of a fast food restaurant with a late-night/twenty-four hour operation, an accessory outdoor dining patio, and double-lane drive thru for McDonald's located at 1122 Huntington Drive, as stated in the staff report and described in the applicant's business proposal statement, on file with the Planning Division.
2. The hours of operation for the indoor dining area shall be from 5:00 AM until 2:00 AM, seven days a week. The hours of operation for the drive-thru shall be twenty-four hours, seven days a week. Any request to alter these hours shall require approval from the Community Development Director prior to implementing. Such changes may require additional review from the Planning Commission.
3. The outdoor dining area shall require final review and approval prior to permit issuance. An outdoor patio plan shall be provided to the Planning Division for review and shall include details on the furniture, operation, and maintenance of the patio. The outdoor patio shall comply with the standards listed in Section 19.60.120 in the Duarte Development Code, including but not limited to the following:
 - a. Landscaping. The outdoor patio shall include the use of planter box or landscape planters, and shall comply with Chapter 19.40 (Landscaping) of the Duarte Development Code. A landscape plan shall be provided to the Planning Division for review.
 - b. Maintenance. All outdoor dining areas shall be continually cleaned and maintained on a regular basis during all hours of operation. The outdoor patio shall include a sufficient number of waste receptacles that are available for use by the public and employees. The waste receptacle shall be decorative and complement the patio furniture.
 - c. All physical elements of the outdoor patio, such as furniture, barriers, awnings, umbrellas, etc., shall be compatible with one another and with the overall character and design of the fast food building.
 - d. The outdoor patio and all components associated with the use of the outdoor patio shall not obstruct pedestrian or vehicle traffic. The outdoor patio is limited to the area noted on the approved plans only.
4. The outdoor patio shall remain an integral part of the McDonald's business operation. A barrier shall be installed around the perimeter of the patio to ensure safety from vehicle traffic and to establish a visual appeal along Huntington Drive.
5. The drive-thru shall not be altered in any way without review and approval from the Community Development Director prior to implementing. Requested changes may require additional review from the Planning Commission.

6. The drive-thru shall continuously provide a queuing distance of at least 12 cars, as noted on the approved plans.
7. Music, menu/ordering devices, ambiance music, or any other business activities shall be operated at reasonable audible levels, not to exceed the City Noise Regulations outlined in Chapter 9.68 of the Duarte Municipal Code.
 - a. The sound produced by all menu boards shall not be allowed to exceed the minimum allowable noise standards set forth under Duarte Municipal Code Chapter 9.68.
 - b. The sound speaker system shall include an automatic volume control integrated into the system to efficiently adjust sound as needed in response to ambient noise (daytime noise levels, vs night time noise levels).
 - c. The submittal of a Noise Study may be required by the Community Development Director to address any noise concerns and propose appropriate measures as needed to comply with the City's noise ordinance. The Noise Study shall be prepared by a qualified consultant, to the satisfaction of the City.
8. The applicant/business owner shall implement a security plan that includes adequate surveillance of the entire property, both interior and exterior, with sufficient hard drive storage. The Security plan shall be fully operational prior to McDonald's beginning operation. Notice of activation of the security system shall be provided to the Community Development Department and Public Safety Department for review and inspection. Any changes to the security plan shall require review from the Community Development Department and Public Safety Department prior to implementing.
9. The storefront windows shall remain clear and free of obstructions that may prevent view from the exterior into the restaurant dining area.
10. The interior lighting of the dining area shall remain on even after the dining area is closed to the public to ensure adequate visibility into the restaurant is maintained at all times for the safety and security of employees and/or customers in the drive-thru lane. The building lighting shall comply with any required emergency lighting, as required by the California Building Code. A final inspection and approval from the Planning Division shall be required prior to business operation beginning.
11. Any outdoor storage associated with this use is strictly prohibited.
12. Any expansion or modification to the approved use as part of this conditional use permit, including but not limited to any substantial changes to the floor plan or additional services that may affect or intensify the business operation shall be reviewed by the Planning Division, and may require Planning Commission approval of a new conditional use permit.
13. The project shall comply with all regulations of the Commercial-General (C-P) Zone, including the intent and purpose, permitted uses, development standards, and any other applicable sections of both the Duarte Development Code and Duarte Municipal Code.
14. Any required building permits for this project must be issued within one-year from the date of approval from the Planning Commission or the application and approval shall expire.

15. This CUP may be called for review or revocation at any time by City Staff, City Council, or Planning Commission if a violation of the approved conditions is alleged, or if it is alleged that fast food operation, or its patrons, are creating a public nuisance, as substantiated by the LA County Sheriff's Department, Public Safety Department, or any other City Department. The applicant and successors shall operate the subject premises in a safe and sanitary manner at all times. Such review of the CUP may include any remedy available to the City that will prevent negative impacts on the property and surrounding developments. Problems or continued/repeated violations of any Municipal Code, conditions of approval or any other governmental regulations may be grounds for initiation of proceedings for the revocation of this CUP before the Planning Commission pursuant to Section 19.152.030 of the Duarte Development Code.
16. This entitlement shall be contingent upon the privileges being utilized within 12 months from the effective approval date.
17. The decision of the Planning Commission may be appealed to the City Council within 15 days of the Planning Commission's decision. Said appeal must be in writing and filed with fees paid to the City Clerk's Office. The written appeal shall include reasons for the appeal.
18. That by acceptance of the approval of the project by the City, the applicant shall defend, indemnify and hold harmless the City of Duarte and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers and employees to challenge, set aside, void or annul the approval of the project or from any other action pertaining to this application or the granting of this conditional use permit which may be brought within the time period provided for such actions or challenges under applicable law.
19. The applicant shall sign an affidavit accepting the conditions of approval of the Conditional Use Permit within 15 days from the date of approval by the Planning Commission. Failure of the applicant to sign such affidavit within such time period shall render the approval of this Conditional Use Permit null and void.

Exhibit B

RESOLUTION PC 17-13

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DUARTE DETERMINING THAT THE PROPOSED DEMOLITION OF THE EXISTING MCDONALDS BUILDING AND CONSTRUCTION OF A NEW MCDONALDS BUILDING AND ASSOCIATED SITE IMPROVEMENTS LOCATED AT 1122 HUNTINGTON DRIVE MEETS THE REQUIRED FINDINGS UNDER DUARTE DEVELOPMENT CODE SECTION 19.122.050(E) AND CONFORMS TO THE APPLICABLE STANDARDS IN DUARTE DEVELOPMENT CODE SECTIONS 19.122.040 & 19.44.020 AND THUS APPROVES ARB SITE PLAN AND DESIGN REVIEW CASE 2017-05, SUBJECT TO CONDITIONS

WHEREAS, McDonald's is requesting approval to demolish the existing restaurant building and construct a new 3,827 square-foot restaurant building and additional site improvements that include an outdoor patio, upgraded parking lot and circulation, new parking lot light standards, and new landscape throughout the property located at 1122 Huntington Drive; and

WHEREAS, Table 7-2 listed in Section 19.122.030.B of the Duarte Development Code requires a recommendation from the Architectural Review Board and approval from the Planning Commission for nonresidential construction greater than 2,500 square feet; and

WHEREAS, on July 24, 2017, the Architectural Review Board reviewed the plans for ARB Case 2017-05 and recommended approval to the Planning Commission subject to conditions; and

WHEREAS, the Planning Commission of the City of Duarte ("Planning Commission") has considered the project proposal, which provides, among other provisions, for the construction of a new 3,827 square-foot single-story restaurant building and associated site improvements at 1122 Huntington Drive; and

WHEREAS, the Planning Commission has considered the analysis and recommendation provided in the staff report and all of the information, evidence and public testimony received at the public meeting held on October 16, 2017.

NOW THEREFORE, the Planning Commission of the City of Duarte resolves as follows:

SECTION 1. That the Planning Commission approves Resolution PC 17-13 with conditions of approval "Exhibit B" for the construction of a single-story restaurant building of 3,827 square feet located at 1122 Huntington Drive.

SECTION 2. All of the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

SECTION 3. The Planning Commission finds and determines as follows, findings for Site Plan and Design Review, as set forth in DDC Section 19.122.050 (E), as the proposed development is:

1. Consistent with the General Plan and is in compliance with all applicable provisions of the Duarte Development Code and all other City ordinances and regulations;

The project conforms to the goals and objectives of the General Plan and the regulations of Chapter 19.12 (Commercial Zones), including the intent and purpose, permitted uses, and other development standards. The use is also consistent with the Commercial land use designation by providing neighborhood retail and service uses serving the daily needs

of the nearby residential areas.

2. To be constructed on a parcel that is adequate in shape, size, topography, and other circumstances to accommodate the proposed development:

The project will consist of a 3,827 square-foot restaurant building constructed on to an existing parcel that is roughly 27,000 square feet. The project will also include improvements to the drive-thru, a new outdoor patio, improved parking and circulation, and landscape improvements all of which can be accommodated on the project site. Furthermore, the new addition meets the development standards of the Duarte Development Code.

3. In compliance with the applicable criteria specified in Subsection 19.122.040(D), and the site is suitable for the proposed development:

- a. *Compatibility. The project will create an enhancement to the property and surrounding community. The project meets the requirements of the C-P zone and has been designed to be compatible with design, scale and proportion of the surround developments.*

- b. *Architectural Design and Detail. The project has been designed with unique elements that complement reflect the McDonald's corporate image. A variety of materials, including faux wood, brick, corrugated metal, and plaster help define the architectural design and create a visual enhancement along Huntington Drive. Furthermore, the project is consistent with the design guidelines outlined in the Duarte Development Code.*

- c. *Landscape, Lighting, Parking, Signs, and Other Design Details.*

- *Equipment and Utilities. All new service and utilities will be installed in a manner that screens them from the public right-of-way. New equipment will be installed within attic area or ground-mounted in rear or side of the property, or underground, and screened from the public right-of-way. New roof-mounted equipment will be screened behind parapet walls that are an integral part of the building's design.*
- *Fences/Walls. The project will include repairs and improvements to the existing perimeter block wall. A block wall plan will be required for review and approval.*
- *Landscaping. The project includes new landscape improvements around the perimeter of the proposed parking lot and the outdoor dining patio. All landscape proposals will require separate review and approval to ensure the landscape areas have been designed to meet the intent and purpose of Chapter 19.40 (Landscaping) of the Duarte Development Code, and will complement the project by providing a welcoming appeal along Huntington Drive.*
- *Lighting. The project includes new parking lot lighting and exterior wall-mounted light fixtures. The exterior lighting will require separate review and approval to ensure compliance with the performance standards for outdoor lighting outlined in the Duarte Development Code. The exterior lighting will be required to meet the energy efficiency requirements and contain a decorative design that complements the architectural style of the property. A separate review and approval will be required.*
- *Parking. The project exceeds the minimum parking requirements for fast food establishments, as outlined in the Duarte Development Code. The project will improve the on-site parking and circulation by using 45-degree angled parking and one-way drive aisles. There are no foreseeable issues with parking.*

- *Signs. The project does not include the approval of any signs. All new signs will require separate review and approval through a comprehensive sign program to ensure compliance with the Duarte Development Code.*

4. Designed and arranged to provide adequate consideration to ensure the public health, safety, and general welfare, and to prevent adverse effects on neighboring property.

The site is sufficient in size and shape to accommodate the proposed use and operation. The project site is in the C-P zone surrounded by commercial uses. The new fast food restaurant is suitable for the property and will not create any adverse impacts to the neighborhood.

SECTION 4. The Planning Commission approves ARB Site Plan and Design Review Case 2017-05 based on the findings listed in Section 3 and the conditions of approval listed in "Exhibit B-1".

APPROVED, AND ADOPTED by the Planning Commission of the City of Duarte at a regular meeting held on the 16th day of October 2017.

Paula Watson-Gardner
City of Duarte Planning Commission

ATTEST:

Craig Hensley, Community Development Director

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES } ss.
CITY OF DUARTE

I, Craig Hensley, Community Development Director of the City of Duarte, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Duarte held on October 16, 2017, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Craig Hensley, Community Development Director

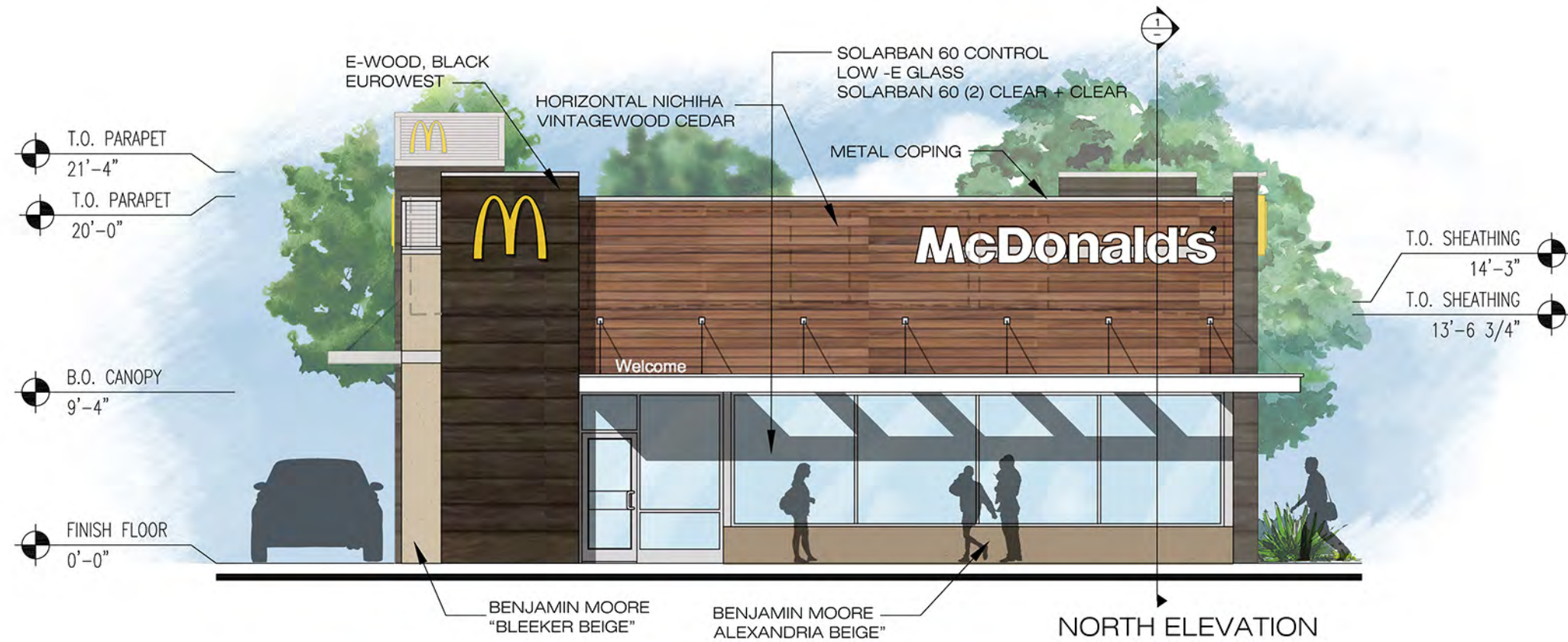
EXHIBIT B-1
Conditions of Approval
ARB Site Plan & Design Review Case 17-05
Construction of a New Fast Food Restaurant at 1122 Huntington Drive
(McDonald's)

1. This approval is for the construction of a new McDonald's restaurant building and associated site improvements, as noted on the approved site plan and design review plans on file with the Community Development Department. The construction shall be in substantial compliance with all components of the approved plans. The 24 hour/late night use and other operational components are not included with this approval.
2. The exterior elevations shall be reviewed and approved by the Planning Division prior to permit issuance. Final review shall include approval of the color palette, placement of colors, and all finished building materials, including but not limited to the type, color, and/or placement. All finished building materials incorporated into the building design shall be of high quality and high durability, and shall take into consideration locations that may be more visible along Huntington Drive.
3. The entrance from the alley shall be modified in a manner that directs vehicles entering the McDonald's property to make a right turn only. Details on the turning radius entering the property from the alley shall be provided to the City Engineer for review. As alternative, closing the existing entrance from the alley and/or relocating it to the east end of the property may be considered.
4. The property owner/developer shall replace the sidewalk adjacent to the project site on Huntington Drive for the full extent of project site boundaries (from east PL to west PL), including the curb and gutter as needed, including any damages as a result of construction. The sidewalks shall be constructed with concrete, integrally colored concrete. A sidewalk repair plan shall be provided to the Public Works Division for review prior to work beginning. Contact the Public Works Division for more information.
5. The property owner shall repair the rear alley and concrete swale as required by the Public Works Division. Contact the Public Works Division for more information.
6. Landscape improvements are not included with this approval. All landscape and irrigation improvements shall require separate review and approval prior to installation to ensure compliance with the landscape guidelines outlined in Chapter 19.40 of the Duarte Development Code.
7. The drive-thru lane and drive aisle lane shall be include some form of delineation as part of the design. A concept plan showing a sufficient method of delineation shall be provided to the Planning Division for review and approval.
8. All drive-thru and directional signs shall require separate approval from the Architectural Review Board prior to construction. A detailed sign package with cut sheets shall be provided for review. All other signs shall require separate review and approval from the Planning Division. All signs shall be in compliance with the Duarte Development Code. Contact the Planning Division for more information.

9. Exterior lighting, including freestanding and wall-mounted, shall require final approval from the Planning Division prior to issuance of building permits. Lighting fixtures shall be of high quality and decorative form and shall be designed to prevent offsite glare. A lighting plan shall be provided to the Planning Division for review and shall include cut-section drawings, manufacture brochure, illumination levels/lighting distribution, and any additional information as needed. Separate review fees may apply.
10. Prior to the issuance of a permits, the applicant shall submit a Low Impact Development (LID) plan to the Community Development Director for review. The LID plan shall be prepared by a California registered civil engineer, architect, or landscape architect knowledgeable about storm-water management issues, and shall comply with Section 6.15.140 of the Duarte Municipal Code. All LID work must be completed prior to occupancy.
11. A drainage plan and grading plan shall be submitted to the Public Works Division for review prior to beginning any drainage and/or grading activity. The grading paln shall address all grading issues and required improvements on the property, including the noncompliant driveway approaches from Huntington Drive. Contact the Public Works Division for more information.
12. Follow the list of Best Management Practices (BMP's) of the National Pollution Discharge Elimination System (NPDES), including recommendations from the City grading inspector.
13. The project shall comply with all the regulations of the C-P Commercial Professional zone, including the intent and purpose, permitted uses, development standards, and any other applicable sections from the Duarte Development Code and Duarte Municipal Code.
14. The project is considered a level one (1) project, according to Chapter 19.52 (Sustainable Development Practices) of the Duarte Development Code. The project will be reviewed for minimum compliance with the requirements outlined in this chapter, including but not limited to: solar access protection, energy efficient outdoor lighting, landscaping efficiency, etc.
15. This project is subject to the requirements of Chapter 6.10 of the Duarte Municipal Code, Diversion and Demolition Waste. Prior to the issuance of any permits, the applicant shall submit a Construction and Demolition Diversion Plan and required security deposit. Contact the Planning Division for more information.
16. Any revisions to the site plan, elevations, colors, and materials in addition to those listed as conditions of approval, shall be reviewed and approved by the Planning Division prior to installation; such changes may require review and approval from the Architectural Review Board.
17. Mechanical equipment and related ducts, vents and other apparatus, including HVAC, shall be screened from public view. Vents, pipes, caps, hoods, and other roof penetrations that must be installed on the roof shall be painted or finished to match the roof color. Ground mounted equipment shall be shielded from public view by landscaping and/or screen walls, subject to approval from the Planning Division.

18. All utilities for direct service to the project shall be installed underground and concealed from view.
19. Plans and all required plan check fees shall be submitted to the Community Development Department for Building & Safety plan check prior to construction. Approval from Building & Safety shall be obtained prior to the issuance of permits. Construction drawings, including the site plan, elevations, and colors shall be consistent and in substantial compliance with the conceptual approval and any required conditions of the Planning Commission.
20. Prior to issuing permits, any required school fees shall be paid directly to Duarte Unified School District and proof of payment provided to the City. Contact Duarte Unified School District at (626) 599-5000 for more information.
21. Any and all correction notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant, and all agents thereof.
22. Building permits for this project must be issued within one-year from the date of final approval and may be extended in compliance with Section 19.130.070 of the Duarte Development Code.
23. The property owner, contractor, and all representatives shall comply with applicable City noise ordinances. Construction activities, deliveries and haul-off will only be permitted from 7:00 a.m. to 7:00 p.m., Monday through Saturday. No construction related idling of engines or other disturbances shall occur outside of noted work hours.
24. A final inspection shall be made by the Planning Division prior to final sign-off of any building permits to ensure that all conditions have been met.
25. The decision of the Planning Commission may be appealed to the City Council within 15 days from the date of approval. Said appeal must be in writing and filed with the Community Development Department (DDC 19.144). The written appeal shall include reasons for the appeal and the applicable fee.
26. That by acceptance of the approval of the project by the City, the applicant shall defend, indemnify and hold harmless the City of Duarte and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers and employees to challenge, set aside, void or annul the approval of the project or from any other action pertaining to this application or the granting of approval which may be brought within the time period provided for such actions or challenges under applicable law.

Exhibit C



NORTH ELEVATION



WEST ELEVATION

McDONALD'S 004-0105

1122 EAST HUNTINGTON DRIVE
DUARTE, CALIFORNIA

ELEVATIONS

Scale: 1/8" = 1'-0"

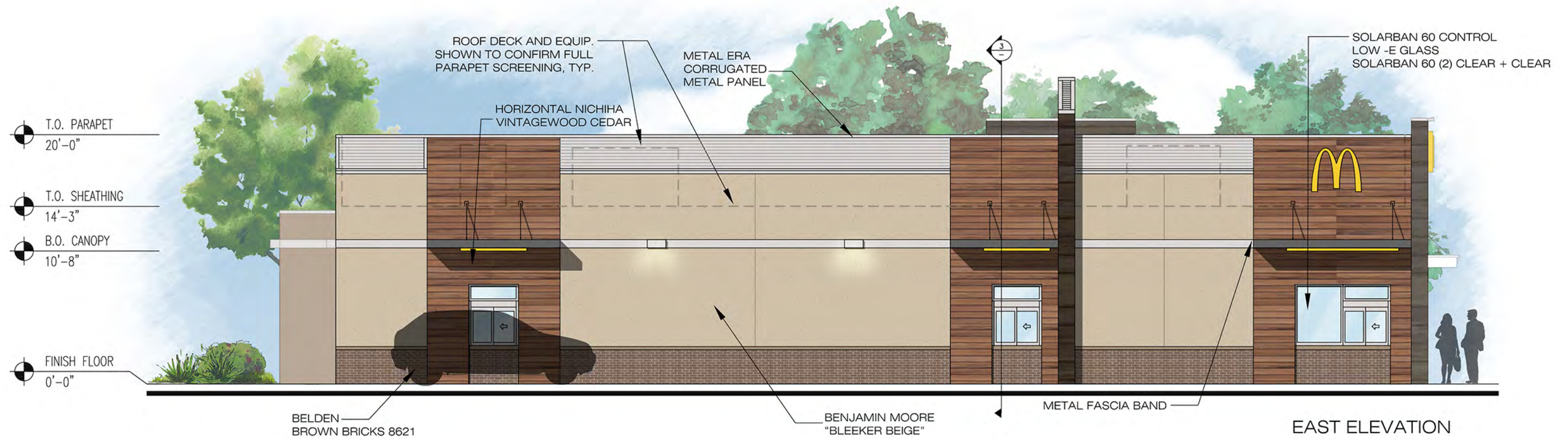
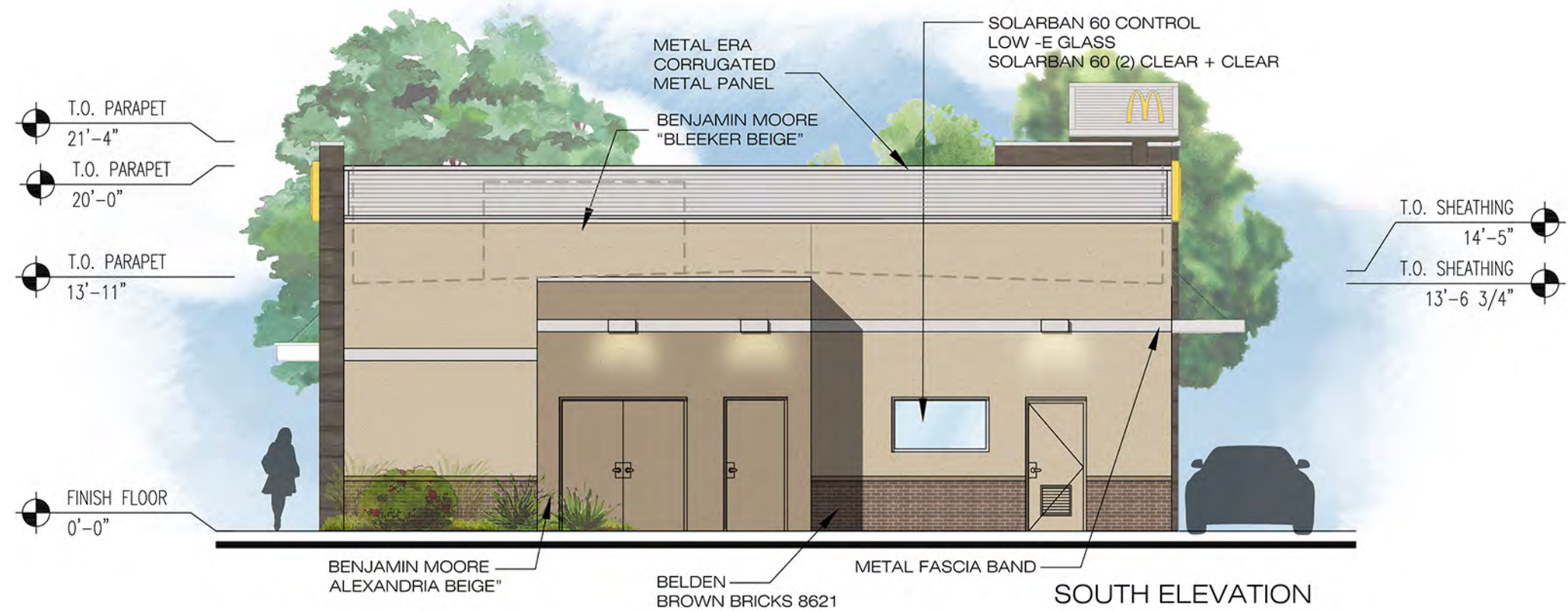
August 3, 2017

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Dr\Design\Elevations\16030 - Elevations.dwg

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**BICKEL GROUP
ARCHITECTURE**
BICKEL GROUP INCORPORATED
3600 BIRCH STREET, SUITE 120
NEWPORT BEACH, CA 92660
P: 949.757.0411 F: 949.757.0511
www.bickelgrp.com



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McDONALD'S 004-0105

1122 EAST HUNTINGTON DRIVE
DUARTE, CALIFORNIA

ELEVATIONS

Scale: 1/8" = 1'-0"
August 3, 2017

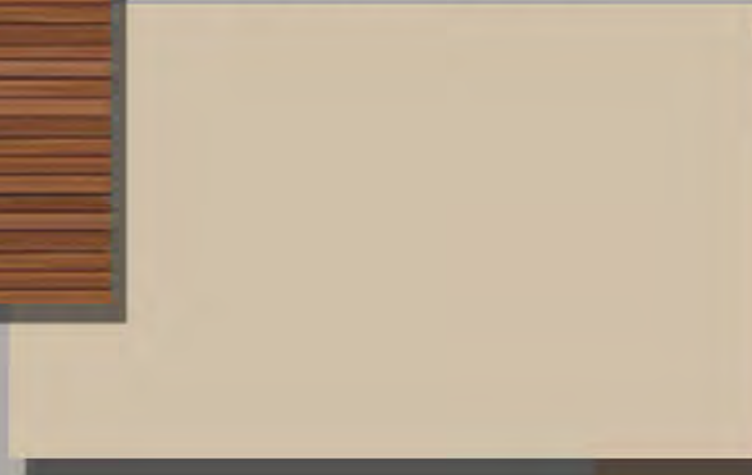
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ACCENT PANEL
HORIZONTAL/VERTICAL
NICHHA FIBER CEMENT



PLASTER
BENJAMIN MOORE
HC-80 "BLEEKER BEIGE"



PLASTER
BENJAMIN MOORE
HC-77 "ALEXANDRIA BEIGE"



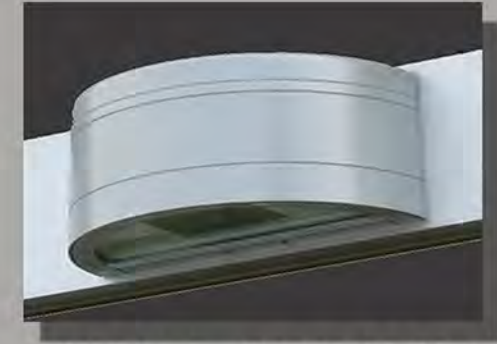
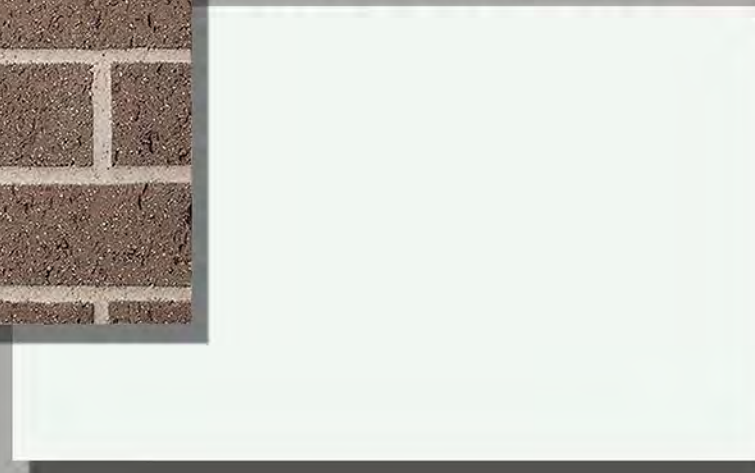
HEARTH
E-WOOD - BLACK
EUROWEST



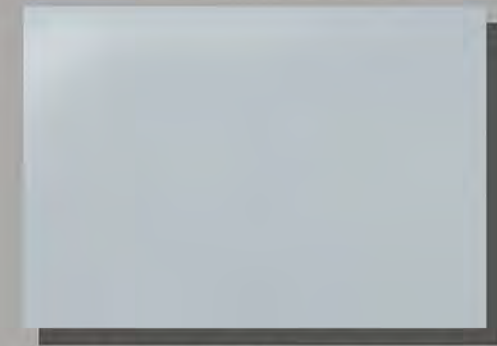
STONE
BELDEN
8621 "BROWN BRICKS"



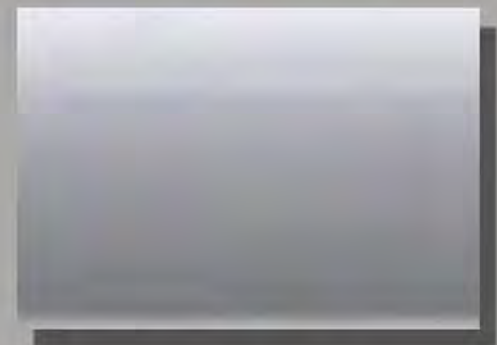
WHITE CANOPY
BENJAMIN MOORE
2122-70 "SNOW WHITE"



WALL SCONCE
SECURITY LIGHTING - RWSC SERIES
PLATINUM SILVER



STOREFRONT GLAZING
SOLARBAN 60 (2)
"CLEAR + CLEAR"



STOREFRONT, METAL
CANOPY & COPING
CLEAR ANODIZED ALUMINUM



BICKEL GROUP
ARCHITECTURE
BICKEL GROUP INCORPORATED
3600 BIRCH STREET, SUITE 120
NEWPORT BEACH, CA 92660
P: 949.757.0411 F: 949.757.0511
www.bickelgrp.com

McDONALD'S 004-0105
1122 EAST HUNTINGTON DRIVE
DUARTE, CALIFORNIA

COLORS &
MATERIALS

March 16, 2017

F:\16\16030 - McD Duarte, Huntington
Dr\Design\Elevations\16030 - Elevations.dwg

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WHITE CANOPY
BENJAMIN MOORE
2122-70 "SNOW WHITE"

PLASTER
BENJAMIN MOORE
HC-80 "BLEEKER BEIGE"

PLASTER
BENJAMIN MOORE
HC-77 "ALEXANDRIA BEIGE"

HEARTH
E-WOOD - BLACK
EUROWEST

ACCENT PANEL
HORIZONTAL/VERTICAL
NICHHA FIBER CEMENT - "CEDAR"

BRICK
BELDEN
8621 - "BROWN BRICKS"

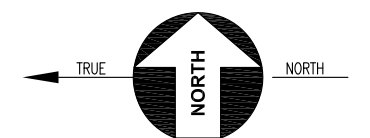
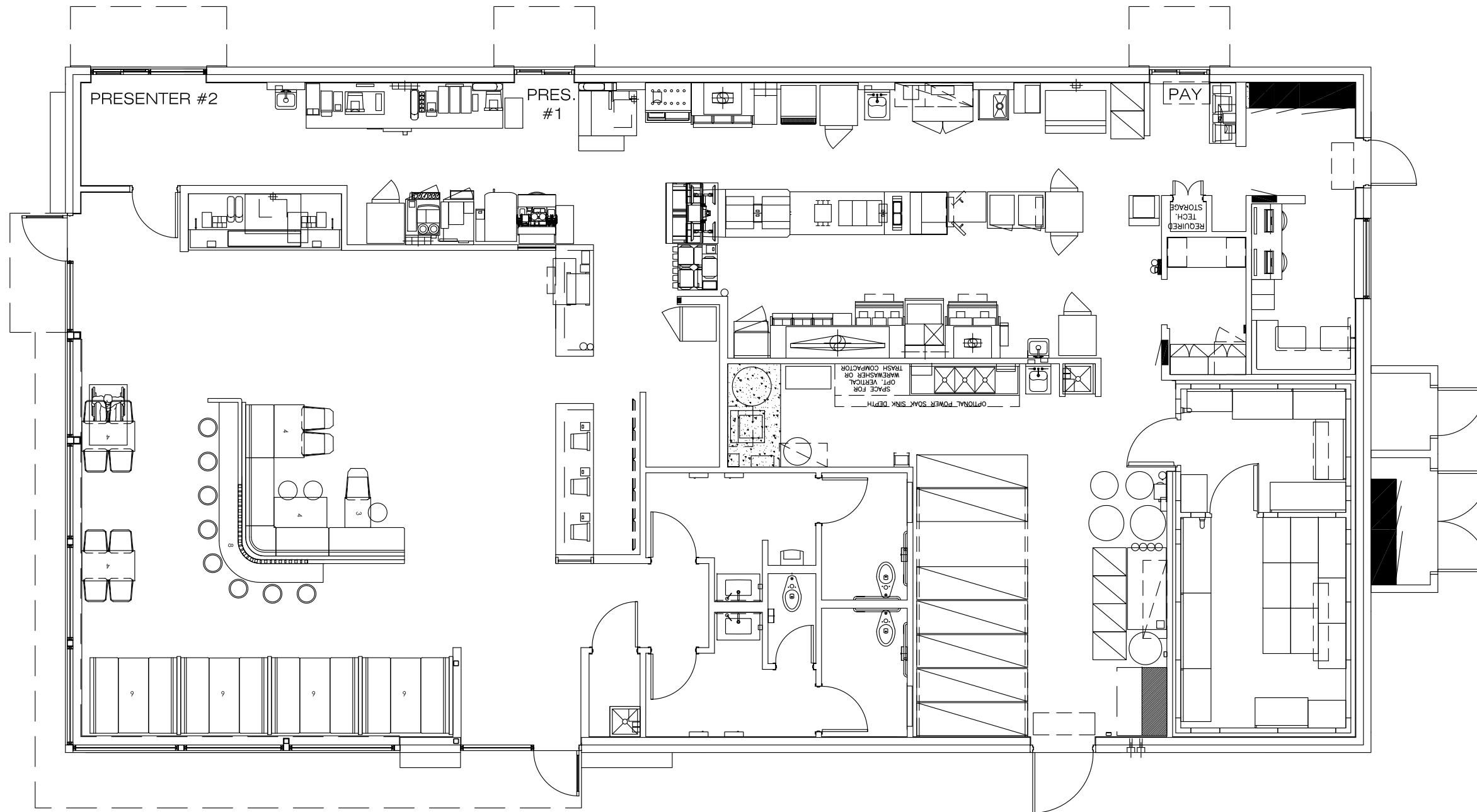


BICKEL GROUP
ARCHITECTURE
BICKEL GROUP INCORPORATED
3600 BIRCH STREET, SUITE 120
NEWPORT BEACH, CA 92660
P: 949.757.0411 F: 949.757.0511
www.bickelgrp.com

McDONALD'S 004-0105
1122 EAST HUNTINGTON DRIVE
DUARTE, CALIFORNIA

COLORS &
MATERIALS
March 27, 2017

File: 1616030 - McD Duarte, Huntington
DrDesign/Elevation/16030 - Elevations.dwg
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FLOOR PLAN

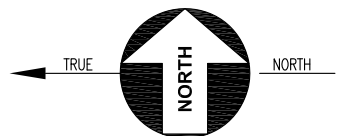
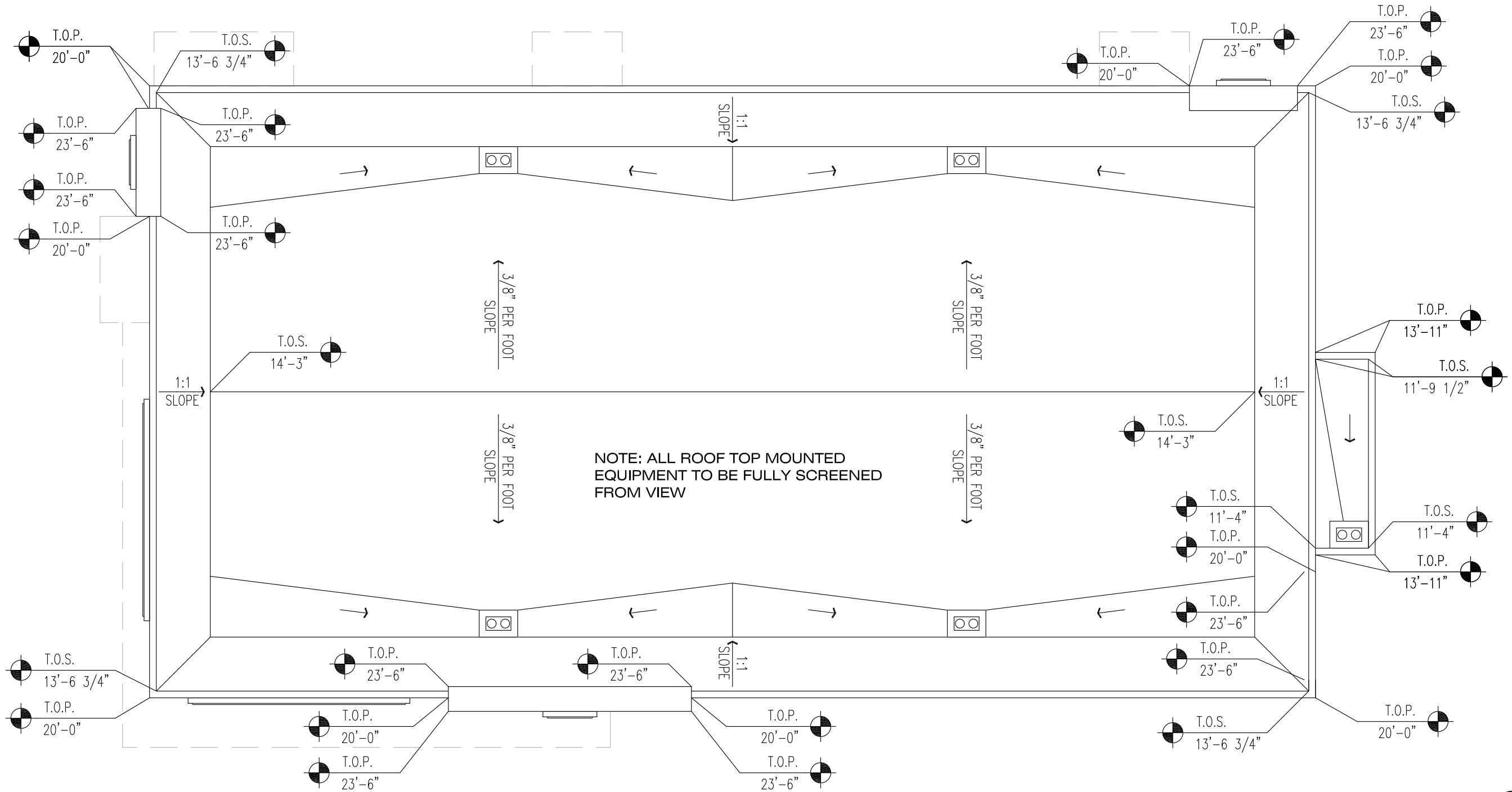
Scale: 1/8" = 1'-0"
August 1, 2017

F:\16\16030 - McD Duarte, Huntington Dr\Design\Floor
Plan\16030 - Floor Plan.dwg

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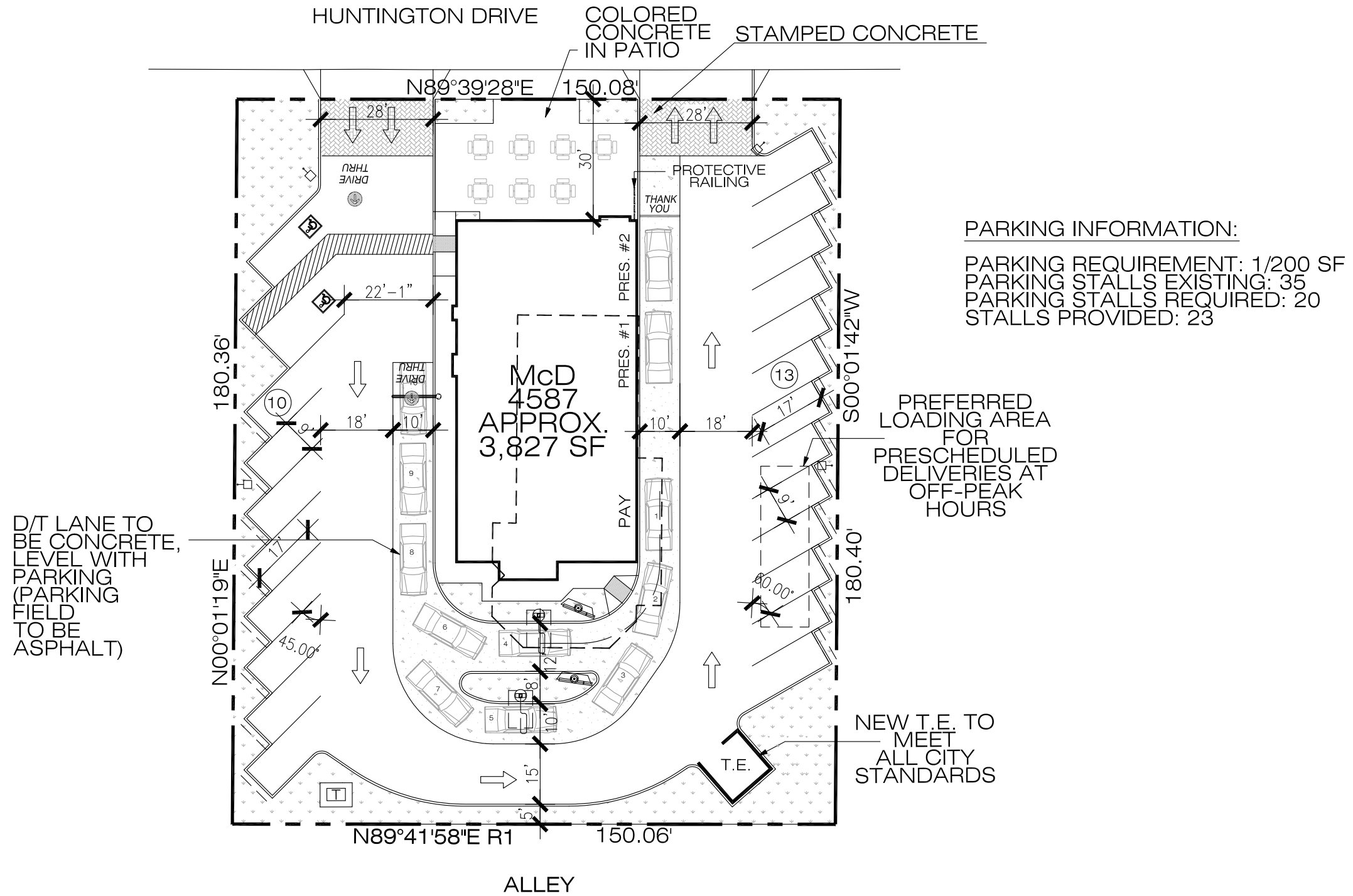
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ROOF PLAN

Scale: 1/8" = 1'-0"
August 1, 2017

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Plan\16030 - Floor Plan.dwg

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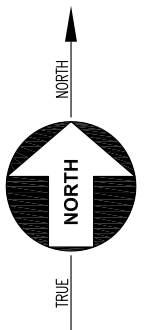


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NEWPORT BEACH, CA 92660
P: 949.757.0411 F: 949.757.0511
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SITE PLAN

Scale: 1" = 30'

August 28, 2017

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Site Plan.dwg

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