



**CITY OF DUARTE  
REGULAR MEETING AGENDA  
PLANNING AND ECONOMIC  
DEVELOPMENT COMMISSION**

**Commissioners**  
Yesenia Paez, Chair  
Wally Wolff, Vice-Chair  
Daniel Becker  
David Rodriguez  
Brian Quandt

**Duarte Community Center  
1600 Huntington Drive  
Duarte, CA 91010  
Tuesday, January 20, 2026  
7:00 PM**

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**MISSION STATEMENT**

With integrity and transparency, the City of Duarte provides exemplary public services in a caring and fiscally responsible manner with a commitment to our community's future.

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**ADA ACCESSIBILITY NOTICE:**

In compliance with the Americans with Disabilities Act, if you need assistance participating in this meeting, contact the Community Development Department at (626) 357-7931 Ext.230 or 235. Notification no later than 1:00 p.m. on the day preceding the meeting will enable the City to make reasonable arrangements to assist your accessibility to this meeting.

**Notice:**

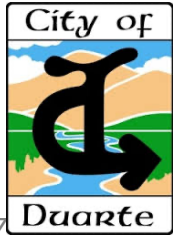
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1. CALL TO ORDER AND NOTATION OF ANY ABSENCES
2. PLEDGE OF ALLEGIANCE
3. APPROVAL OF MINUTES
  - A. **11-17-25 Minutes**
4. ORAL COMMUNICATIONS - CONSENT CALENDAR
5. PUBLIC HEARINGS
  - A. **Conditional Use Permit Modification 25-05:** Modification of Conditional Use Permit 20-01 - Expanding into an additional, non-contiguous, tenant space within the same commercial center located at 1210 Huntington Drive, Unit B.

**RESOLUTION PC 26-01**

A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE APPROVING CONDITIONAL USE PERMIT MODIFICATION 25-05 MODIFYING CONDITIONAL USE PERMIT 20-01 AND APPROVING OPPORTUNITIES FOR LEARNING CHARTER SCHOOL (OFL) EXPANSION INTO AN ADDITIONAL, NON-CONTIGUOUS, TENANT SPACE WITHIN THE SAME COMMERCIAL CENTER LOCATED AT 1210 HUNTINGTON DRIVE, UNIT B.

6. BUSINESS ITEMS
7. ITEMS FROM DIRECTOR
8. ITEMS FROM COMMISSIONERS
9. ADJOURNMENT



**MINUTES**  
**CITY OF DUARTE**  
**PLANNING AND ECONOMIC**  
**DEVELOPMENT COMMISSION**

**November 17, 2025**

**Commissioners**  
Yesenia Paez, Chair  
Wally Wolff, Vice-Chair  
Daniel Becker  
Brian Quandt  
David Rodriguez

**1. CALL TO ORDER AND NOTATION OF ANY ABSENCES:**

Chair Paez called the meeting to order at 7:01 p.m. The following were in attendance:

PRESENT: Paez, Wolff, Becker, Rodriguez  
ABSENT: Quandt  
STAFF: Hensley, Abdul-Ahad, Grigorian

**2. PLEDGE OF ALLEGIANCE:**

Commissioner Rodriguez led the pledge.

**3. APPROVAL OF MINUTES:**

Commissioner Rodriguez motioned to approve the September 15, 2025 minutes. Seconded by Commissioner Paez. The motion carried 4-0-0-1.

(Yes: Paez, Wolff, Becker, Rodriguez; No: None; Abstain: None; Absent: Quandt).

**4. ORAL COMMUNICATIONS - ITEMS NOT ON THE AGENDA:**

None.

**5. PUBLIC HEARINGS:**

- A. Proposal to construct eleven, two-story attached residential townhomes ranging in size from 1,341 to 1,594 square feet at 1404-1414 Royal Oaks Drive. This project includes:**

**General Plan Amendment 24-03** - Changing the General Plan designation from Low Density Residential to Medium Density Residential;

**Zone Change 24-03** – Changing the zoning from R-1 Single-Family Residential to R-3 Multiple Family Residential Medium Density;

**Tentative Tract Map 84375 (TTM 24-02)** – To subdivide the property into a condominium lot consisting of 11 residential units and a common lot;

**Site Plan and Design Review SPDR 24-45** – Design review application for a proposed 11 unit townhome project;

and a **Mitigated Negative Declaration** for the project.

**RESOLUTION NO. PC 25-14**

A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE RECOMMENDING THAT THE DUARTE CITY COUNCIL CERTIFY THE INITIAL STUDY MITIGATED NEGATIVE DECLARATION TO REDUCE THE IDENTIFIED “POTENTIALLY SIGNIFICANT” IMPACTS TO A LEVEL OF “LESS THAN SIGNIFICANT” FOR AN 11-UNIT, OWNER-OCCUPIED, TWO-STORY TOWNHOME DEVELOPMENT LOCATED AT 1404 AND 1414 ROYAL OAKS DRIVE

**RESOLUTION NO. PC 25-15**

A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE RECOMMENDING APPROVAL OF GENERAL PLAN AMENDMENT 24-03 FROM LOW DENSITY RESIDENTIAL TO MEDIUM DENSITY RESIDENTIAL FOR TWO PARCELS OF LAND LOCATED AT 1404 AND 1414 ROYAL OAKS DRIVE

**RESOLUTION NO. PC 25-16**

A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE RECOMMENDING APPROVAL OF A ZONE CHANGE 24-03 TO MODIFY THE CITY OF DUARTE ZONING MAP FROM R-1 SINGLE-FAMILY RESIDENTIAL TO R-3 MULTIPLE-FAMILY RESIDENTIAL MEDIUM DENSITY FOR TWO PARCELS OF LAND LOCATED AT 1404 AND 1414 ROYAL OAKS DRIVE, AND TO AMEND THE OFFICIAL ZONING MAP

**RESOLUTION PC 25-17**

A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE RECOMMENDING APPROVAL OF TENTATIVE TRACT MAP 84375 FOR CONDOMINIUM PURPOSES TO ALLOW A 11-UNIT, TWO-STORY TOWNHOME DEVELOPMENT LOCATED AT 1404 AND 1414 ROYAL OAKS DRIVE

**RESOLUTION PC 25-18**

A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE RECOMMENDING APPROVAL OF SITE PLAN AND DESIGN REVIEW CASE 24-45 TO THE CITY COUNCIL, FOR AN 11-UNIT TWO-STORY TOWNHOME DEVELOPMENT AND ASSOCIATED SITE IMPROVEMENTS, LOCATED AT 1404 AND 1414 ROYAL OAKS DRIVE  
A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE APPROVING CONDITIONAL USE PERMIT 25-04 TO ALLOW THE OPERATION OF A ACCUPRESSURE AND HYPNOTHERAPY BUSINESS LOCATED AT 1740 HUNTINGTON DRIVE, UNIT 102.

Associate Planner Abdul-Ahad presented staff’s report which discussed the proposed two-story, eleven-unit townhomes project at 1404-1414 Royal Oaks Drive. Abdul-Ahad explained that the proposed project site is currently two large single family properties developed with single family homes, so items that are part of the request include: a General Plan Amendment to change the property from low-density to medium-density residential; a zone change from R-1 Single Family Residential to R-3 Multiple Family Residential; a Tentative Tract Map to subdivide the property; a Site Plan and Design Review case to approve the architectural design; and a Mitigated Negative Declaration to address CEQA requirements. She provided a detailed overview of the project and explained that the Mitigated Negative Declaration, prepared by De Novo Planning Group, found that.

the project will not have any significant environmental impacts with the adopted mitigations outlined in the study's mitigation monitoring program.

Commissioner Rodriguez asked a question pertaining to relevant solar requirements for the project. Chair Paez asked a question regarding the relocation of existing trees on site.

The applicant, Feng Xiao Architect Inc., clarified that the solar PV system requirement for the project and answered additional questions from the Commission.

An unnamed member of the public asked if this project involved the undeveloped lot near The Huntington Apartments. Director Hensley provided clarification that the Royal Oaks Drive townhome project is separate, but also informed the member of the public that a developer is working on plans that are compatible with the requirements of the Town Center Specific Plan for the undeveloped lot that was .

Commissioner Rodriguez moved to approve Resolution PC 25-14, 25-15, 25-16, 25-16, 25-17 and 25-18 including GPA 24-03, ZC 24-03, TTM 24-02, SPD 24-45, and the Mitigated Negative Declaration. Commissioner Becker seconded the motion; motion passed 4-0-0-1 (**Yes:** Paez, Wolff, Becker, Rodriguez; **No:** None; **Abstain:** None; **Absent:** Quandt).

**6. BUSINESS ITEMS:**

None.

**7. ITEMS FROM DIRECTOR:**

Director Hensley provided an update on Acts Thrift Store and announced that SkyZone Trampoline Park is looking to operate in the old Big Lots tenant space. Additional improvements to the old Big Lots shopping center are in the works. Additionally, Director Hensley stated that there will be ADA compliant improvements made to the Royal Oaks bicycle trail soon. The Director also addressed information that has been circulating about the Rancho Duarte Golf Course, explaining that any notices that residents have been receiving in their mailboxes are from a source that is unknown to the City. Director Hensley noted that the golf course is under new ownership and is unsure of any improvements to be made to the property at this time.

**8. ITEMS FROM COMMISSIONERS:**

None.

**9. ADJOURNMENT:**

Chair Paez motioned to adjourn the meeting at 7:37 p.m. The next meeting is scheduled for December 15, 2025.

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Craig Hensley, Secretary



# PLANNING AND ECONOMIC DEVELOPMENT COMMISSION STAFF REPORT

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**Date:** January 20, 2026

**Subject:** Conditional Use Permit Modification 25-05 – Modification of Conditional Use Permit 20-01 - Expanding into an additional, non-contiguous, tenant space within the same commercial center

**Location:** 1210 Huntington Drive, Unit B

**Applicant:** Opportunities for Learning Charter School – Brooke Richards

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## **SUMMARY**

The applicant, Brooke Richards, on behalf of Opportunities for Learning Charter School (OFL), is requesting approval to modify the existing Conditional Use Permit (CUP 20-01) to allow the expansion into an additional, non-contiguous, tenant space within the same commercial center as their existing location (1202 Huntington Drive). The proposed additional unit area is approximately 1,380 square feet. The expansion will not increase enrollment but would allow for the addition of a new classroom and office space to better support their existing students and enhance their learning experience.

Staff recommends that the Planning Commission adopt PC Resolution 25-19 to approve the expansion of Opportunities for Learning Charter School, based on the information provided in the staff report and subject to conditions of approval.

## **BACKGROUND**

The property is zoned Mixed Use Corridor within the Duarte Town Center Specific Plan and is developed with a fast-food restaurant (El Pollo Loco), hotel (Duarte Inn), and a five-unit office/commercial building. The proposed OFL expansion will occupy a vacant 1,380 square foot unit that was formerly a retail store. This will bring the total OFL tenant space to 5,910 square feet. The surrounding land uses include commercial and retail shops to the north, a multi-family complex to the east, a car dealership to the south, and a commercial center to the west. No improvements to the exterior or parking lot area are proposed at this time.

This conditional use permit modifies CUP 20-01, and all conditions of that approval are incorporated into this conditional use permit. This approval does not replace CUP 20-01 approval because if in the future, this 1,380 square foot tenant space is not used, the original approval will

still be valid. This condition is not typical, but since the spaces are not contiguous, it does provide the most flexibility.

## **PROJECT DESCRIPTION**

Opportunities for Learning is a non-profit, accredited charter school that serves students grades 7 through 12. It provides a non-traditional education option within the school district to students that need to support their families, LGBTQ youth, bullied children, students with special needs, student athletes and actors that need special schedules, high achieving students that wish to graduate early, individuals in the juvenile justice system, truants, foster care students, homeless students, students with extended unexcused and unexplained absences, and students with behavioral problems.

OFL was originally approved through Conditional Use Permit 20-01, Resolution 20-03, at the April 20, 2020, Planning Commission Meeting and has been operating at this location for approximately five years. During the five years of operating, OFL has seen an increasing demand for additional instructional space, especially for English learners, students with disabilities, and middle school students. Currently, classes are held in an open-area setting, which has created challenges related to student focus, instructional quality, and overall academic performance. To better meet student needs, OFL is proposing to expand into a vacant unit within the same commercial center.

## **ANALYSIS**

The vacant unit is approximately 1,380 square foot and will consist of a classroom, a conference room, office space, a janitor's closet, and two restrooms. The classroom will have desks for the students to utilize. The proposed hours of operation will be Monday to Friday from 8:00 am to 4:00 pm. Students only attend the school twice a week for approximately 90 minutes of class time. One cluster of students come in on a Monday/Wednesday schedule and another cluster come in on a Tuesday/Thursday schedule. No classes are held on Fridays. The school will still be for students in grades 7 through 12 and will maintain a maximum of 35 students, 11 teachers, and 1 security guard.

The additional classroom space will allow OFL to offer a more structured, distraction-free environment that will promote individualized instruction and improve their student's learning outcomes. In addition to the new classroom, OFL has experienced inadequate administrative space to support their current students and therefore have added a new open office area to address the current lack of space.

### Parking

The subject property is developed with 131 parking stalls. The uses on the property include a 2,209 square foot restaurant, a 64-room hotel, and a 9,384 square foot commercial building. The request is to use 1,380 square feet of one of the vacant units within the commercial building. Based on the proposed expansion, the parking requirement is calculated at 6 stalls per classroom plus 1 stall per 350 square feet of office/administrative area. OFL currently utilizes 23 stalls; with the expansion, an additional 7 stalls are required, for a total of 30 stalls. Because the expansion will not increase student enrollment or staff, therefore all existing conditions of approval related to parking will continue to be satisfied.

## **ENVIRONMENTAL**

The proposal has been reviewed with respect to environmental impact and staff has determined that the application for a Conditional Use Permit Modification is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15303, Class 1 & 3 of Title 14 of the California Code of Regulations. No further environmental review is required at this time.

## **RECOMMENDATION**

Based on the information provided in the Staff report, Staff recommends that Planning Commission review the information and adopt PC Resolution 26-01, approving Conditional Use Permit 25-05 to allow the expansion of OFL into an additional, non-contiguous, tenant space within the same commercial center as their existing location, subject to conditions of approval.

Respectfully Submitted



Mena Abdul-Ahad  
Associate Planner

## **ATTACHMENTS**

- Exhibit A: PC Resolution 26-01
- Exhibit B: Operations Expansion Letter
- Exhibit C: Project Plans
- Exhibit D: PC Resolution 20-03, CUP 20-01

## RESOLUTION PC 26-01

**A RESOLUTION OF THE PLANNING AND ECONOMIC DEVELOPMENT COMMISSION OF THE CITY OF DUARTE APPROVING CONDITIONAL USE PERMIT MODIFICATION 25-05 MODIFYING CONDITIONAL USE PERMIT 20-01 AND APPROVING OPPORTUNITIES FOR LEARNING CHARTER SCHOOL (OFL) EXPANSION INTO AN ADDITIONAL, NON-CONTIGUOUS, TENANT SPACE WITHIN THE SAME COMMERCIAL CENTER LOCATED AT 1210 HUNTINGTON DRIVE, UNIT B.**

**WHEREAS**, the Planning and Economic Development Commission (Planning Commission) has been assigned, by the Duarte City Council, the duties and functions of a planning agency under State law and other duties as directed by the City Council; and

**WHEREAS**, the applicant has submitted an application requesting approval of a Modification to Conditional Use Permit 20-01, to expand their existing operations into an additional, non-contiguous, tenant space within the same commercial center, located at 1210 Huntington Drive, Unit B; and

**WHEREAS**, a charter school located in the Mixed Use Corridor zone within the Duarte Town Center Specific Plan is a conditionally permitted use pursuant to the Duarte Town Center Specific Plan Section 3.3.1; and

**WHEREAS**, the previous approval had a condition which requires any expansion or modification to the approved use to require an application for modification of the existing permit; and

**WHEREAS**, Section 19.114.040 through 19.114.050 of the Duarte Development Code authorizes the Planning and Economic Development Commission to consider such requests subject to certain findings; and

**WHEREAS**, notice of a public hearing on this Modification of Conditional Use Permit 25-05 was given pursuant to Duarte Development Code Chapter 19.146 and in accordance with applicable State law; and

**WHEREAS**, the Planning Commission has considered the analysis and recommendation provided in the staff report for Modification of Conditional Use Permit 25-05 and all of the information, evidence and public testimony received at the public meeting held on January 20, 2026, at 7:00 p.m. City Council Chambers Conference Room;

**NOW THEREFORE**, the Planning Commission of the City of Duarte resolves as follows:

### **SECTION 1. RECITALS**

All of the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

## **SECTION 2. FINDINGS**

The Planning Commission finds and determines as follows, findings for Conditional Use Permits, as set forth in DDC Section 19.114.050(B), as:

1. *The proposed use is consistent with the General Plan;*

The school use is consistent with Land Use Goal 1 of the General Plan by maintaining a balanced community consisting of various commercial activities and industrial developments. The proposed expansion will allow for the addition of a new classroom and office space to better support and enhance their students learning experience. The school will continue to be beneficial to the fast-food restaurant and retail uses in the immediate vicinity and should not introduce any adverse impacts to the area.

2. *The proposed use is allowed within the subject zone and complies with all other applicable provisions of this Development Code and the Municipal Code;*

A school use is permitted in the Mixed-Use Corridor designation of the Duarte Town Center Specific Plan with a Conditional Use Permit. The use is consistent with the specific plan zoning designation as it provides educational options for the community in a central, convenient location. The use is in compliance with all regulations of the Duarte Development Code and municipal Code, and the existing conditions of approval.

3. *The design, location, size and operating characteristics of the proposed use are compatible with the allowed uses in the vicinity;*

The expansion will occupy one of the tenant spaces within an existing multi-tenant building of the commercial center at 1210 Huntington Drive. The unit space is approximately 1,380 square feet, which is sufficient for accommodating the expansion. The expansion is anticipated to have minimal impacts to surrounding uses as the school is existing and no new enrollment is proposed.

4. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;*

Conditions of Approval such as noise and operation restrictions were added to CUP 25-05 to ensure the proposed use remains consistent with the zoning, and will help avoid any adverse and detrimental effects on the City and surrounding community.

5. *The subject site is:*

- a. *Physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle (e.g. fire and medical) access and public services and utilities; and*

- b. *Served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate.*

The site is developed with a commercial building, fast-food restaurant and a hotel, located within the Mixed Use Corridor zone within the Duarte Town Center Specific Plan. The property is accessible from Huntington Drive and is proximate to Buena Vista Avenue and the 210 and 605 Freeways. Onsite circulation will not be altered and is suitable for the existing uses, the new expansion, and emergency vehicle access.

**SECTION 3. CEQA DETERMINATION**

In recommending adoption of this PC Resolution 26-01 for the proposed use, the Planning Commission finds and determines the project is in compliance with the California Environmental Quality Act (CEQA), and State regulations in Title 14 of the California Code of Regulations, (CEQA Guidelines) because the project is categorically exempt from CEQA pursuant to Title 14 California Code of Regulations Section 15301 and 15303.

**SECTION 4. RECOMMENDATION**

The Planning Commission approves PC Resolution 26-01 based on the findings listed in Section 2, and the conditions listed in “Exhibit A-1”, for modification of CUP 20-01 an expansion of Opportunities for Learning Charter School located at 1210 Huntington Drive, Unit B.

**APPROVED, AND ADOPTED** by the Planning Commission of the City of Duarte at a regular meeting held on the 20<sup>th</sup> day of January 2026.

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Yesenia Paez, Chairperson  
City of Duarte Planning Commission

ATTEST:

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Craig Hensley, Community Development Director

STATE OF CALIFORNIA  
COUNTY OF LOS ANGELES                      } ss.  
CITY OF DUARTE

I, Craig Hensley, Community Development Director of the City of Duarte, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Duarte held on January 20, 2026, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

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Craig Hensley, Community Development Director

**EXHIBIT A-1**

Conditions of Approval  
Conditional Use Permit 25-05  
1210 Huntington Drive, Unit B  
Opportunities for Learning Charter School

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1. This approval is for the expansion of an existing use, Opportunities for Learning Charter School, to expand into an additional, non-contiguous, tenant space within the same commercial center at 1210 Huntington Drive, Unit B, as stated in the staff report and described in the applicant's business proposal statement and plans, on file with the Planning Division.
2. All Conditions of Approval of Resolution 20-03 (Conditional Use Permit 20-01) shall be in force as part of this approval.



## **Operational Narrative for OFL-Duarte Annex Proposal**

We are seeking approval to add an annex to our existing OFL-Duarte school facility in order to better serve the educational and operational needs of our current student population. The proposed annex is not intended to expand enrollment, but rather to provide a more effective and supportive environment for the students we currently serve.

Our school is experiencing a growing demand for additional instructional space—particularly for the support we provide for our English Learners, Students with disabilities and Middle School students. At present, this academic support is being delivered in an open area setting, which can present challenges to student focus, instructional delivery, and overall academic success for these particular students. Dedicated classroom space for this strategic academic support will allow us to offer more structured, distraction-free environments that promote individualized instruction and improved learning outcomes.

In addition to instructional needs, our existing administrative space is inadequate for the types of activities that support student and family engagement, including parent meetings, staff training sessions, and leadership team gatherings. The annex will alleviate these limitations by providing dedicated space for such essential school functions.

The proposed annex will operate under a reduced amount of hours from the original CUP and will operate between 8 am to 4pm. It will offer the same courses and instructional blocks already in place, with no changes to the scope or nature of our programming—only an improvement in the quality and functionality of the learning and administrative environment.

We are committed to ensuring that this expansion supports the educational mission of OFL-Duarte while maintaining consistency with local planning expectations and community needs. We believe this annex will significantly enhance our ability to provide high-quality education and support services to our students and families.

Sincerely,

*Richard Meno*

Richard Moreno,

Director of Schools

# Abbreviations

A	AMPERES	CH or C	CHANNEL	EXH.	EXHAUST
A.B.	ANCHOR BOLT	CKT. BKR.	CIRCUIT BREAKER	EXIST. or E	EXISTING
A.F.F.	ABOVE FINISHED FLOOR	CL or C	CENTERLINE	EXT.	EXTERIOR
A.F.G.	ABOVE FINISHED GRADE	CLG.	CEILING	F.A.	FIRE ALARM
A/C	AIR CONDITIONING	CLKG.	CAULKING	F.C.	FAN COIL
ABC	AGGREGATE BASE COURSE	CL.O.	CLOSET	F.C.O.	FLOOR CLEAN OUT
ABS	ACRYLONITRILE-BUTADIENE-STYRENE	C.L.R.	CLEAR	F.D.	FLOOR DRAIN
ABV.	ABOVE	CMU	CONCRETE MASONRY UNIT	F.E.	FIRE EXTINGUISHER
ACB	ASBESTOS-CEMENT BOARD	CNTRD.	CENTERED	F.N.	FIELD NAILING
ACOU.	ACOUSTIC	COL.	COLUMN	F.O.	FACE OF
ACT	ACOUSTICAL CEILING TILE	COMB.	COMBINATION	F.S.	FLOOR SINK
ADD.	ADDITION OR ADDENDUM	CONC.	CONCRETE	F/G	FIBERGLASS
AG	ABOVE GRADE	CONST.	CONSTRUCTION	FAB.	FABRICATE
AHU	AIR HANDLER UNIT	CONT.	CONTINUOUS	FACP	FIRE ALARM CONTROL PANEL
AL. or ALUM.	ALUMINUM	CONTR.	CONTRACTOR	FDC	FIRE DEPARTMENT CONNECT
ALT.	ALTERNATE	CU	COPPER	FDN.	FOUNDATION
ANL	ANNEALED	d	PENNY	FHC	FIRE HOSE CABINET
ASPH.	ASPHALT	D.F.	DRINKING FOUNTAIN	FIN.	FINISH
AVG	AVERAGE	D.G.	DECOMPOSED GRANITE	FL	FLOOR
AWG	AMERICAN WIRE GAUGE	D.S.	DOWN SPOUT	FLG.	FLOORING
∠	ANGLE	D/W	DISHWASHER	FLUOR.	FLOURESCENT
B.M.	BENCH MARK	DBL	DOUBLE	FP	FIRE PROOF
B.N.	BOUNDARY NAILING	DEMO	DEMOLITION	FTG.	FOOTING
B.O.	BOTTOM OF	DIA. or Ø	DIAMETER	FURN.	FURNISH
B.O.F.	BOTTOM OF FOOTING	DIAG.	DIAGONAL	G.I.	GALVANIZED IRON
B.U.	BUILT UP	DIM.	DIMENSION	GA.	GAUGE
B/C	BACK OF CURB	DL	DEAD LOAD	GALV.	GALVANIZED
BD.	BOARD	DN.	DOWN	GAR.	GARAGE
BLDG	BUILDING	DR	DOOR	GFI	GROUND FAULT INTERRUPTER
BLK.	BLOCK	E.A.	EXPANSION ANCHOR	GFI	" " " "CIRCUIT INTERRUPTER
BLKG.	BLOCKING	E.F.	EXHAUST FAN	GL	GLASS
BM.	BEAM	E.J.	EXPANSION JOINT	GLB	GLUE LAMINATED BEAM
BR	BRASS	E.N.	END NAILING	GM	GRADE MARK
BRG.	BEARING	E.W.	EACH WAY	GM	GATE VALVE
BRZ	BRONZE	EA.	EACH	GRC	GALVANIZED RIGID TUBING
C.A.P.	CONCRETE ASBESTOS PIPE	EL	ELEVATION	GYP.	GYPNUM
C.D.	CONSTRUCTION DOCUMENTS	ELECT.	"ELECTRIC, ELECTRICAL"	GYP. BD.	GYPNUM BOARD
C.I.P.	CAST IN PLACE	ELEV.	ELEVATOR	H.B.	HOSE BIBB
C.J.	CONTROL JOINT	EMC	ELECTRICAL METALLIC CONDUIT	H.C.	HOLLOW CORE
C.O.	CLEAN OUT	EMT	ELECTRICAL METALLIC TUBING	H.M.	HOLLOW METAL
C.T.	CERAMIC TILE	ENT	ELECTRICAL NON-METALLIC TUBING	H/C	HANDICAPPED
CAB	CABINET	EQ.	EQUAL	HDBD.	HARDBOARD
CAM.	CAMBER	EQUIP.	EQUIPMENT	HDW	HARDWARE
CCTV	CLOSED CIRCUIT TELEVISION	EST.	ESTIMATE	HGT.	HEIGHT
CEM.	CEMENT	EVAP.	EVAPORATIVE COOLER	HOR.	HORIZONTAL
CER	CERAMIC	EW	ELECTRIC DRINKING COOLER	HTR	HEATER
CFM	CUBIC FEET PER MINUTE	EXC	EXCAVATE	HVAC	"HEATING, VENTILATING AIR CONDITIONING"
HW	HOT WATER	OPPO.	OPPOSITE	T.O.J.	TOP OF JOIST
HYD.	HYDRAULIC	P.C.	PRECAST CONCRETE	T.O.M.	TOP OF MASONRY
I.C.	INTERCOM OUTLET	P.L. or P	PROPERTY LINE	T.O.S.	TOP OF SLAB
I.D.	INSIDE DIAMETER	P.LAM.	PLASTIC LAMINATE	T.O.W.	TOP OF WALL
I.F.	INSIDE FACE	P.O.C.	POINT OF CONNECTION	T.S.	TUBE STEEL
IG	IDENTIFICATION	PERF.	PERFORATED	T.V.	TELEPHONE OUTLET
IG	ISOLATED GROUND	PERP. or	PERPENDICULAR	TEL.	TELEPHONE
IMC	INTERMEDIATE METALLIC CONDUIT	PH or Ø	PHASE	TH.	THRESHOLD
IMPG	IMPREGNATED	PL.	PLASTER	THD.	THREADED
INCL.	"INCLUDE, INCLUSIVE"	PL. or P	PLATE	THK.	THICK
INSUL.	INSULATION	PLAS.	PLASTIC	THRU	THROUGH
INT.	INTERIOR	PLUMB.	PLUMBING	TLT.	TOILET
J-BOX	JUNCTION BOX	PLYWD.	PLYWOOD	TRANS.	TRANSFORMER
JCT	JUNCTION	PORC.	PORCELAIN	TYP.	TYPICAL
JST.	JOIST	PREFAB.	PREFABRICATED	UNF.	UNFINISHED
JT.	JOINT	PSF	POUNDS PER SQUARE FOOT	UR	URINAL
K-D	KNOCK DOWN	PSI	POUNDS PER SQUARE INCH	V.B.	VAPOR BARRIER
KD	KILN DRIED	PTN.	PARTITION	V.I.F.	VERIFY IN FIELD
KO	KNOCK OUT	PVC	POLYVINYLCHLORIDE	VA	VOLT AMPERE
L.E.D.	LIGHT EMITTING DIODE	PWR.	POWER	VCT	VINYL COMPOSITION TILE
L.F.T.	LINEAR FEET	Q.T.	QUARRY TILE	VERT.	VERTICAL
LAM	LAMINATE	QTY.	QUANTITY	W/C	WATER CLOSET
LAT.	LATERAL	R	RADIUS	WDW	WINDOW
LAV	LAVATORY	R.D.L.	ROOF DRAIN LEADER	WCT	WAINSCOT
L.D.	LEAD	R.D.O.	ROOF DRAIN OVERFLOW	WP	WEATHER PROOF
LIN.	LINEAR	R.O.	ROUGH OPENING	WT.	WEIGHT
LINO.	LINOLEUM	R.O.W. or R/W	RIGHT OF WAY	W/	WITH
LT.	LIGHT	REF.	REFRIGERATOR	W/O	WITHOUT
LTG.	LIGHTING	REF.	REFERENCE	WD.	WOOD
LVL	LAMINATED VENEER LUMBER	REINF.	REINFORCED	WI.	WROUGHT IRON
M.B.	MACHINE BOLT	REQ'D.	REQUIRED	YD.	YARD
M.H.	MANHOLE	RET.	RETURN		
M.I.	MALLEABLE IRON	REV.	REVISION		
M.O.	MASONRY OPENING	RM	ROOM		
MAR.	MARBLE	RMV.	REMOVE		
MAS.	MASONRY	S.C.	SOLID CORE		
MAT'L	MATERIAL	S.D.	SMOKE DETECTOR		
MAX.	MAXIMUM	S.O.V.	SHUT OFF VALVE		
MECH.	MECHANICAL	S/L	SKYLIGHT		
MED.	MEDIUM	S/S	STAINLESS STEEL		
MFG.	MANUFACTURING	SC	SELF CLOSING		
MFR.	MANUFACTURER	SCHED.	SCHEDULE		
MIN.	MINIMUM	SECT.	SECTION		
MISC.	MISCELLANEOUS	SES	SERVICE ENTRANCE SECTION		
MOD	MODULAR	SH	SHEET		
MTL.	METAL	SH'T'G.	SHEATHING		
MUL.	MULLION	SIM.	SIMILAR		
N.I.C.	NOT IN CONTRACT	SPA.	SPACE		
N.T.S.	NOT TO SCALE	SPECS	SPECIFICATIONS		
NCM	NON-CORROSIIVE METAL	SPKR.	SPEAKER		
NFC	NOT FOR CONSTRUCTION	SQ. FT.	SQUARE FEET		
NLR	NAILER	SQ. IN.	SQUARE INCHES		
NO.	NUMBER	STC	SOUND TRANSMISSION CLASS		
NOM.	NOMINAL	STD.	STANDARD		
O.C.	ON CENTER	STL	STEEL		
O.D.	OUTSIDE DIAMETER	SUSP.	SUSPENDED		
O.H.	OVER HANG	SW	SWITCH		
O.I.	ORNAMENTAL IRON	SYM	SYMMETRICAL		
O.R.	OUTSIDE RADIUS	SYS.	SYSTEM		
OAI	OUTSIDE AIR INTAKE	T & G	TONGUE AND GROOVE		
OH	OVER HEAD	T.B.	THROUGH BOLT		
OPNG.	OPENING	T.M.B.	TELEPHONE MOUNTING BOARD		
		T.O.	TOP OF		
		T.O.B.	TOP OF BEAM		
		T.O.C.	TOP OF CURB		
		T.O.F.	TOP OF FOOTING		

# OPPORTUNITIES FOR LEARNING

1210-B E. HUNTINGTON DRIVE  
DUARTE, CA 91010  
APN: 8530-016-010

## PROJECT DESCRIPTION

OPPORTUNITIES FOR LEARNING(OFL), A PUBLIC CHARTER SCHOOL PROGRAM, IS HOPING TO LEASE A 1,380 SQUARE FOOT EXISTING COMMERCIAL SPACE AT 1210B E. HUNTINGTON DRIVE, DUARTE, CA 91010 TO BE USED AS AN INDEPENDENT STUDY LEARNING CENTER. THE OFL PROGRAM IS A PUBLICLY FUNDED CHARTER SCHOOL COMPLIANT WITH STATE ADA REGULATIONS TO SERVE STUDENTS IN GRADES 7-12.

WE ARE SEEKING APPROVAL TO ADD AN ANNEX TO OUR EXISTING OFL-DUARTE SCHOOL FACILITY IN ORDER TO BETTER SERVE THE EDUCATIONAL AND OPERATIONAL NEEDS OF OUR CURRENT STUDENT POPULATION. THE PROPOSED ANNEX IS NOT INTENDED TO EXPAND ENROLLMENT, BUT RATHER TO PROVIDE A MORE EFFECTIVE AND SUPPORTIVE ENVIRONMENT FOR THE STUDENTS WE CURRENTLY SERVE.

OUR SCHOOL IS EXPERIENCING A GROWING DEMAND FOR ADDITIONAL INSTRUCTIONAL SPACE—PARTICULARLY FOR THE SUPPORT WE PROVIDE FOR OUR ENGLISH LEARNERS, STUDENTS WITH DISABILITIES AND MIDDLE SCHOOL STUDENTS. AT PRESENT, THIS ACADEMIC SUPPORT IS BEING DELIVERED IN AN OPEN AREA SETTING, WHICH CAN PRESENT CHALLENGES TO STUDENT FOCUS, INSTRUCTIONAL DELIVERY, AND OVERALL ACADEMIC SUCCESS FOR THESE PARTICULAR STUDENTS. DEDICATED CLASSROOM SPACE FOR THIS STRATEGIC ACADEMIC SUPPORT WILL ALLOW US TO OFFER MORE STRUCTURED, DISTRACTION-FREE ENVIRONMENTS THAT PROMOTE INDIVIDUALIZED INSTRUCTION AND IMPROVED LEARNING OUTCOMES. IN ADDITION TO INSTRUCTIONAL NEEDS, OUR EXISTING ADMINISTRATIVE SPACE IS INADEQUATE FOR THE TYPES OF ACTIVITIES THAT SUPPORT STUDENT AND FAMILY ENGAGEMENT, INCLUDING PARENT MEETINGS, STAFF TRAINING SESSIONS, AND LEADERSHIP TEAM GATHERINGS. THE ANNEX WILL ALLEVIATE THESE LIMITATIONS BY PROVIDING DEDICATED SPACE FOR SUCH ESSENTIAL SCHOOL FUNCTIONS.

THE PROPOSED ANNEX WILL OPERATE UNDER A REDUCED AMOUNT OF HOURS FROM THE ORIGINAL CUP AND WILL OPERATE BETWEEN 8 AM TO 4PM. IT WILL OFFER THE SAME COURSES AND INSTRUCTIONAL BLOCKS ALREADY IN PLACE, WITH NO CHANGES TO THE SCOPE OR NATURE OF OUR PROGRAMMING—ONLY AN IMPROVEMENT IN THE QUALITY AND FUNCTIONALITY OF THE LEARNING AND ADMINISTRATIVE ENVIRONMENT.

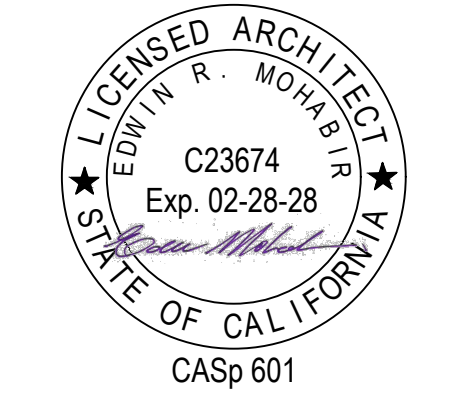
WE ARE COMMITTED TO ENSURING THAT THIS EXPANSION SUPPORTS THE EDUCATIONAL MISSION OF OFL-DUARTE WHILE MAINTAINING CONSISTENCY WITH LOCAL PLANNING EXPECTATIONS AND COMMUNITY NEEDS. WE BELIEVE THIS ANNEX WILL SIGNIFICANTLY ENHANCE OUR ABILITY TO PROVIDE HIGH-QUALITY EDUCATION AND SUPPORT SERVICES TO OUR STUDENTS AND FAMILIES.

## PROJECT DATA

TENANT:  
OPPORTUNITIES FOR LEARNING  
715 ARROW GRAND CIRCLE  
COVINA, CA 91722

BROOKE RICHARDS, PROJECT MANAGER  
TEL: (626) 590-4897  
EMAIL: BROOKERICHARDS@LUPINEPROPERTIES.COM

EDWIN MOHABIR  
**EM**  
ARCHITECT, INC.  
25206 BISHOP CT.  
STEVENSON RANCH, CA 91381  
tel: 323-4598809 · edwinmohabir@gmail.com



A PROJECT FOR:



1210B E. HUNTINGTON DR.  
DUARTE, CA 91010

CLIENT:

**LUPINE**  
CONSTRUCTION & DEVELOPMENT  
715 ARROW GRAND CIRCLE  
COVINA, CA 91722

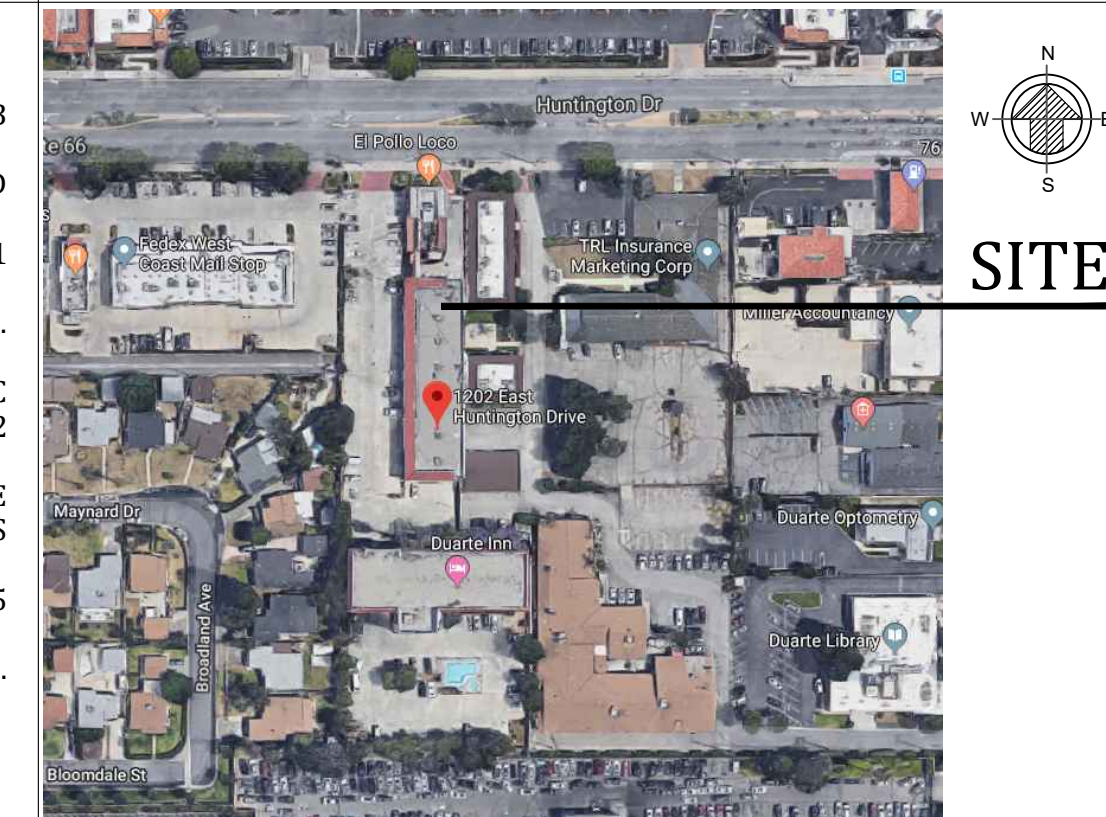
## ARCHITECTURAL GENERAL NOTES

- GENERAL NOTES PERTAIN TO ALL DRAWINGS.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL OR CENTERLINE OF COLUMN, UNLESS OTHERWISE NOTED.
- PROVIDE ALL WOOD BLOCKING AS REQUIRED FOR THE ATTACHMENT OF MISCELLANEOUS EQUIPMENT INCLUDING BUT NOT LIMIT TO, TOILET ACCESSORIES, DOOR HARDWARE, ELECTRICAL DEVICES, EQUIPMENT INDICATED, GRAB BARS, HANDRAILS, AND CASEWORK, 16 GA. GALVANIZED SHEET METAL CAN BE USED AS BLOCKING.
- TRANSITION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL OCCUR AT CENTERLINE OD DOORS.
- ALL NEW DOOR FRAMES ARE TO BE 4" FROM ADJUDICATE FINISHED WALL SURFACE AT DOOR HINGE UN.O. DIMENSION FOR OPENINGS WITH DOORS ARE TO FACE OF DOOR JAMB, DIMENSION FOR OPENINGS WITHOUT DOORS ARE TO FACE OF WALL.
- PROVIDE CONTROL JOINTS IN GYPSUM WALLBOARD AS RECOMMENDED BY WALLBOARD MANUFACTURER AND COORDINATE LOCATION WITH ARCHITECT. (APPROX. 30" O.C.)
- ALL CUTTING AND PATCHING AS A RESULT OF NEW CONSTRUCTION SHALL BE PERFORMED IN A WORKMANLIKE MANNER, AND SHALL MATCH IN COLOR, SHAPE, SIZE & TEXTURE ADJACENT AND/OR CONTIGUOUS FINISHED SURFACES. PAINT ALL CUT AND PATCHED SURFACES AS SPECIFIED.
- PAINT ALL WALL SURFACES, DOOR FRAMES, BULKHEADS & CEILINGS IN AREAS INDICATED ON ROOM FINISH SCHEDULE, PAINT BEHIND ALL MOVEABLE ITEMS AND ADJACENT TO SURFACES RECEIVING PAINT AND RELOCATED ITEMS.
- ALL PRODUCTS UTILIZED IN THIS CONSTRUCTION SHALL BE ASBESTOS FREE.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR CLEANING AND DISPOSAL REQUIREMENTS.
- THE CONTRACTOR SHALL VERIFY IN THE FIELD ALL EXISTING APPLICABLE CONDITIONS AND DIMENSIONS SHOWN ON THE DRAWINGS AND AS PERTINENT TO THE INTENT OF THESE DRAWINGS, ANY DISCREPANCY DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK AFFECTED BY, OR RELATED TO, SUCH DISCREPANCY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH OR CAUSED BY FAILURE TO COMPLY WITH THE REQUIREMENTS.
- THE CONTRACTOR SHALL BECOME COMPLETELY FAMILIAR WITH ALL ASPECTS OF THE WORK, EVEN THOSE AREAS DESIGNATED TO BE PROVIDED BY OTHERS, THE FAMILIARIZATION INCLUDES FULL AND COMPLETE UNDERSTANDING OF THE WORK DESCRIBED ON ALL SHEETS OF THE DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS, FAILURE BY THE CONTRACTOR TO BECOME COMPLETELY FAMILIAR AND COGNIZANT OF ALL ASPECTS OF THE WORK SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PROVIDE MATERIALS, ASSEMBLIES, OR SERVICE INDICATED IN THE CONTRACT DOCUMENT.
- NOTHING IN THESE DRAWINGS SHALL RELEASE THE CONTRACTOR FROM RESPONSIBILITY TO PROVIDE APPROPRIATE QUANTITIES, FIELD MEASUREMENTS, DIMENSIONAL STABILITY, INSTALLATION, ANCHORAGE, AND COORDINATION WITH OTHER TRADES, OR WAIVE THE CONTRACTORS RESPONSIBILITY TO IDENTIFY AND RESOLVE DEVIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, OR WAIVE THE CONTRACTORS RESPONSIBILITY TO ALERT THE PROJECT MANAGER/DESIGNER TO DISCREPANCIES CONTAINED THEREIN.
- THE CONTRACTOR SHALL REVIEW IN ADVANCE ALL PORTIONS OF THE WORK TO VERIFY THAT THE WORK WILL NOT PROHIBIT COMPETITION OF THE PROJECT AS INTENDED IN THESE CONTACT DOCUMENT, ANY QUESTIONS shall be PROMPTLY REFERRED TO THE DESIGNER FOR RESOLUTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL SURFACES AND FINISHES AT INTERIOR AND EXTERIOR BUILDING. DAMAGED SURFACES AND FINISHES RESULTING FROM THE PERFORMANCE OF THE WORK SHALL BE REPAIRED AT NO COST TO THE OWNER BY THE CONTRACTOR TO MATCH EXISTING ADJACENT.
- THE CONTRACTORS SHALL BE RESPONSIBLY FOR COORDINATION WITH ALL TRADES. THE CONTRACTOR SHALL REFER TO ALL ASPECTS OF THE DRAWINGS AND SPECIFICATIONS INCLUDING BUT NOT LIMITED TO ARCHITECTURAL DRAWINGS, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING DRAWINGS AS WELL AS RELATED SPECIFICATIONS FOR COORDINATION ISSUES. COORDINATE ALL DIAGRAMMATIC DRAWINGS WITH ALL TRADES TO ENSURE FIT AND COMPATIBLY.
- PROVIDE DEMOLITION AS INDICATED, AND IF NOT INDICATED, AS REQUIRED TO COMPLETE NEW WORK INDICATED. SEE DEMOLITION NOTES.

## BUILDING INFORMATION

<b>EXISTING BUILDING ANALYSIS:</b>	
CONSTRUCTION TYPE:	VB
SPRINKLER:	NON-SPRINKLERED
NUMBER OF STORIES:	1
BUILDING HEIGHT:	18 FT.
ZONE:	DUARTE TOWN CENTER SPECIFIC PLAN, AREA 2
LEGAL DESCRIPTION:	SUB OF THE RANCHO AZUSA DE DUARTE- 1.66 ACRES
LOT NO:	#25
BUILDING FLOOR AREA:	9182 S.F.
<b>PROPOSED AREA FOR CHARTER SCHOOL:</b>	1380 S.F.
CHANGE OF USE FROM B TO E OCCUPANCY GROUP	
FIRE ALARM SYSTEM WILL BE INSTALLED WITHIN THE OCCUPANCY. UNDER SEPARATE PERMIT.	
NON-SPRINKLER JUSTIFICATION CBC 903.2.3 GROUP E. AN AUTOMATIC SPRINKLER SYSTEM SHALL BE PROVIDED FOR GROUP E OCCUPANCIES AS FOLLOWS: 1. THROUGHOUT ALL GROUP E FIRE AREAS GREATER THAN 12,000 SQUARE FEET IN AREA.	
FLOOR AREA IS LESS THAN 12,000 S.F.	

## VICINITY MAP (NTS)



## SCOPE OF WORK

- New Partition Walls
- New Flooring
- New Doors
- New Windows
- New Electrical Outlets(where applicable)
- New T-bar Ceiling Grid(where applicable)
- New 2x4 Lighting Fixtures
- New Plumbing Fixtures
- Change use from B to E occupancy.

## GENERAL NOTES

- CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK WHERE NECESSARY TO COMPLETE FULL SCOPE OF WORK.
- CONTRACTOR SHALL BUILD WALLS IN ACCORDANCE TO CONSTRUCTION DOCUMENTS, (IE: FRAMING, DRYWALL, INSULATION, AS NOTED).
- CONTRACTOR SHALL INSTALL DOORS, FRAMING, AN HARDWARE AS PER SPECIFICATIONS. DOORS SHALL BE REUSED FROM EXISTING DEMOLISHED WALLS.
- CONTRACTOR SHALL INSTALL WINDOWS AND FRAMES PER SPECIFICATIONS. WINDOWS SHALL BE REUSED FROM EXISTING DEMOLISHED WALLS.
- CONTRACTOR SHALL INSTALL ALL ELECTRICAL CONDUIT IN WALLS AND ABOVE CEILING LINE FOR LOW VOLTAGE EQUIPMENT IN THE SPECIFIED LOCATIONS.
- CONTRACTOR SHALL INSTALL AND OR VERIFY HIGH VOLTAGE ELECTRICAL OUTLETS.
- CONTRACTOR SHALL INSTALL LIGHT SWITCHES IN NEWLY CONSTRUCTED WALLS AS REQUIRED TO MEET ADA SPECIFICATIONS.
- CONTRACTOR SHALL INSTALL FLOORING AND BASE PER SPECIFICATIONS.
- CONTRACTOR SHALL RELOCATE HVAC SUPPLY AND RETURN REGISTERS AS REQUIRED AND ACHIEVE AN AIR BALANCE THROUGHOUT TENANT SPACE.
- CONTRACTOR SHALL PAINT SPACE WITHIN TENANT IMPROVEMENT AS PER SPECIFICATIONS.
- CONTRACTOR SHALL REPLACE ALL DAMAGED CEILING TILES AND REPLACE OR MEND ANY DAMAGED T-BAR CEILING SYSTEM WITHIN TENANT IMPROVEMENT AREA OF WORK.
- CONTRACTOR SHALL COMPLY WITH ALL ADA AND TITL 24 SPECIFICATIONS, WITH REGARDS TO ANY ADDITIONS OR SUBSTITUTIONS, REQUESTED WITHIN THE SCOPE OF WORK.
- CONTRACTOR SHALL NOT PROCEED WITH ANY UNAUTHORIZED WORK ON THIS TENANT IMPROVEMENT PROJECT WITHOUT NOTIFICATION AND AUTHORIZATION FROM LUPINE PROPERTIES.

## APPLICABLE CODES

2022 CALIFORNIA FIRE CODE (CFC)  
2022 CALIFORNIA BUILDING CODE (CBC)  
2022 CALIFORNIA PLUMBING CODE (CPC)  
2022 CALIFORNIA MECHANICAL CODE (CMC)  
2022 CALIFORNIA ELECTRICAL CODE (CEC)  
2022 ENERGY CODE  
CITY OF DUARTE MUNICIPAL CODE

## DEFERRED SUBMITTALS

FIRE ALARM SYSTEM AND SMOKE DETECTION ALARMS ARE REQUIRED TO BE INSTALLED PER CBC 907 AS REQUIRED BY CBC 907.2.3  
PORTABLE FIRE EXTINGUISHERS REQUIRED PER CBC 906 AND PER FIRE CODE

## SHEET INDEX

T-1.0	TITLE SHEET
A-1.0	SITE PLAN/PATH OF TRAVEL
A-1.1	EXISTING CONDITIONS
A-2.0	AS-BUILT/DEMO FLOOR PLANS
A-3.0	PROPOSED FLOOR PLAN

## PROJECT DATA

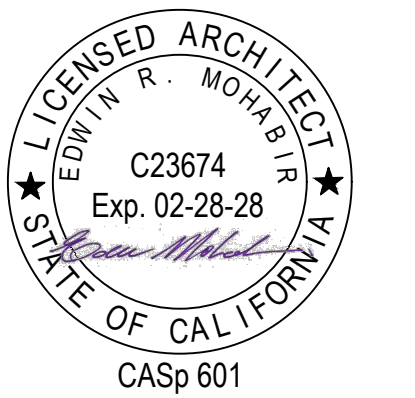
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ARCHITECT	EM
CHECKED BY	EM
DRAWN BY	AA
PROJECT NO.	-
SCALE	AS NOTED

## SHEET TITLE

TITLE SHEET

## SHEET NO.

T-1.0



A PROJECT FOR:



1210B E. HUNTINGTON DR.  
DUARTE, CA 91010

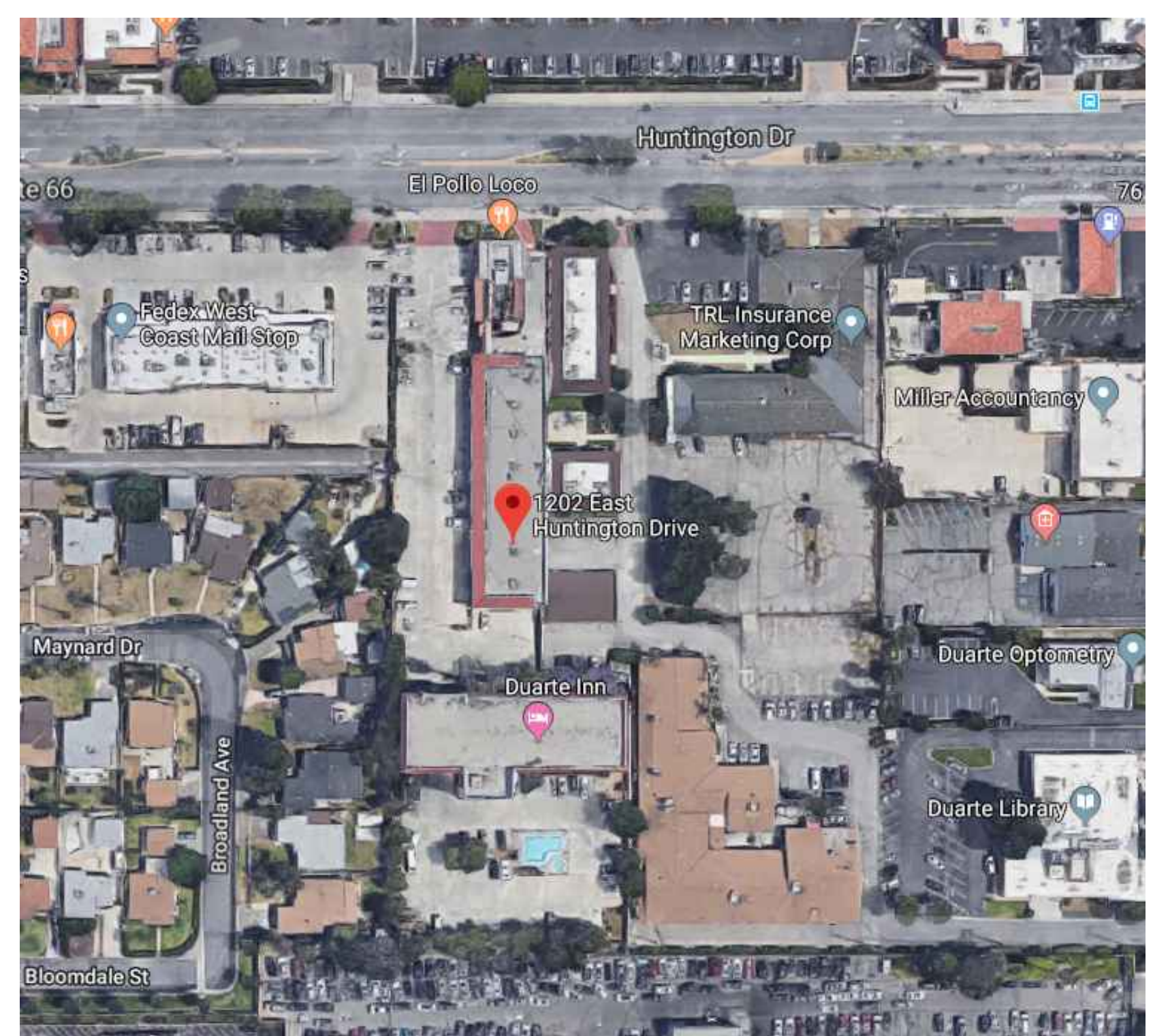
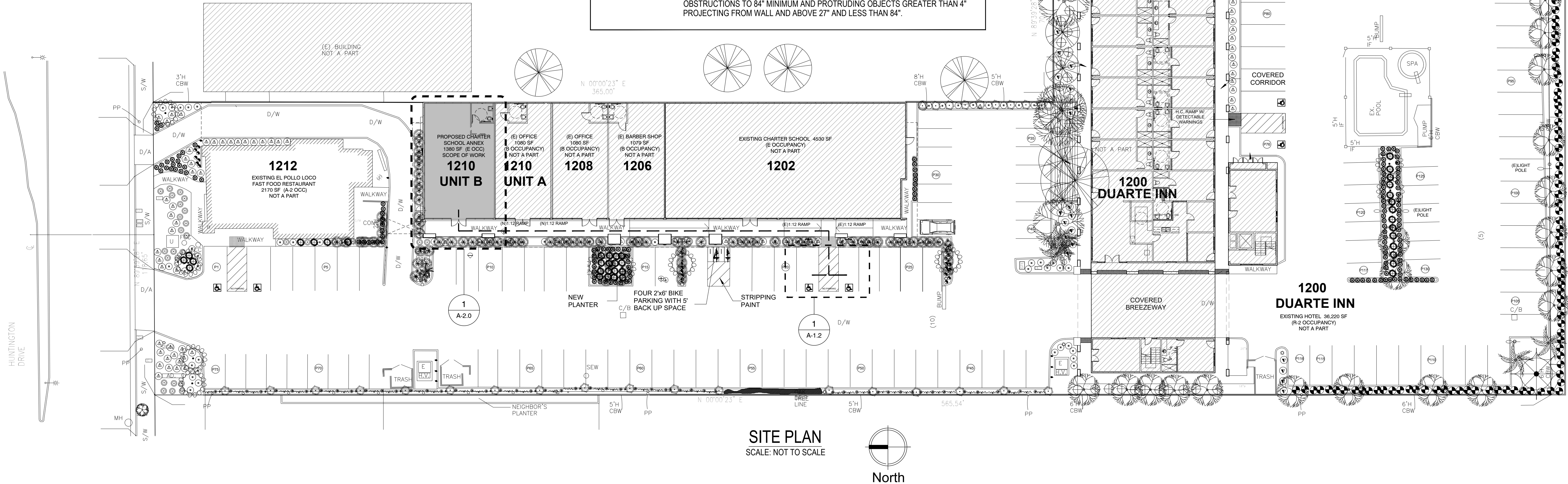
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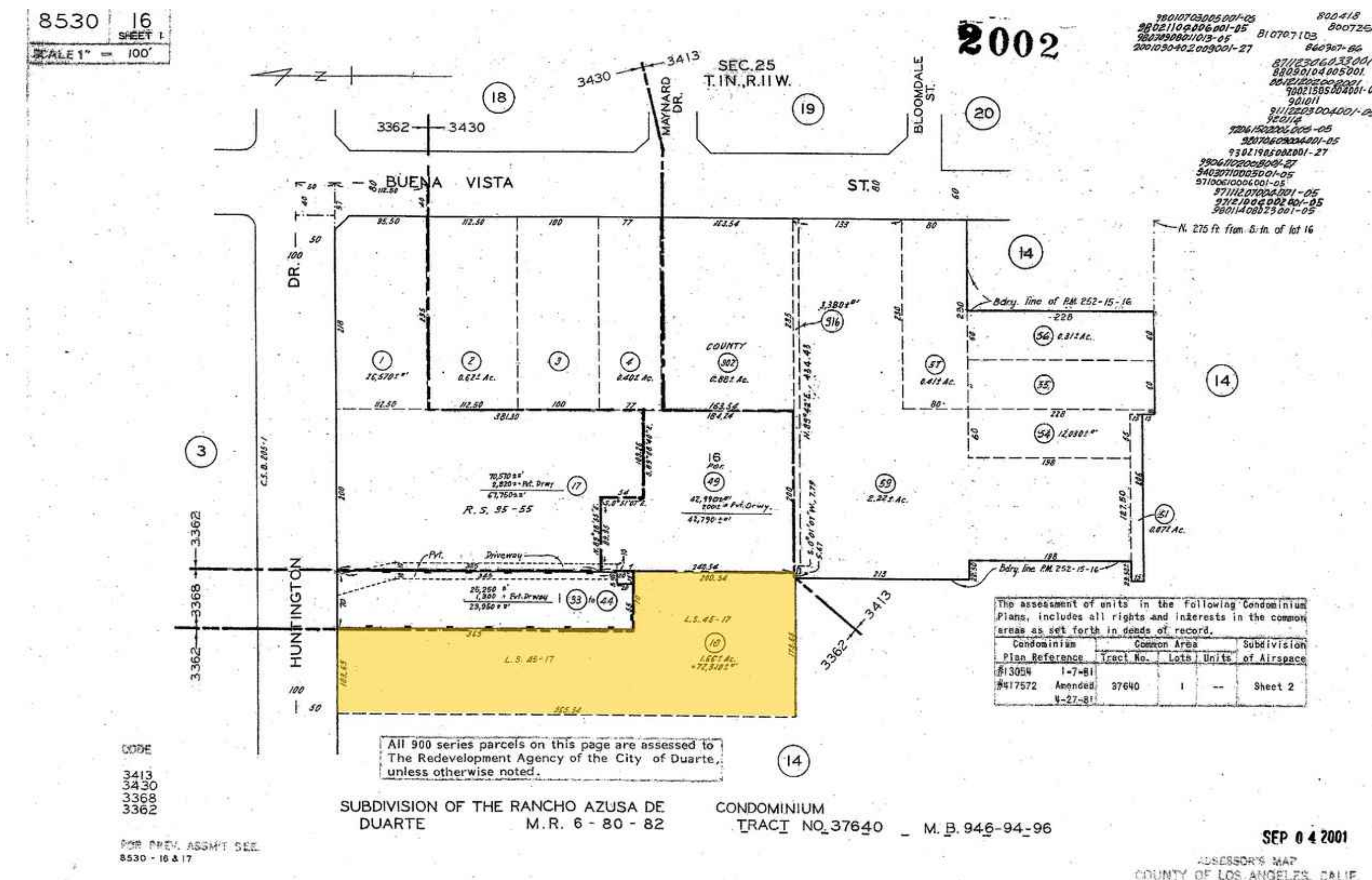
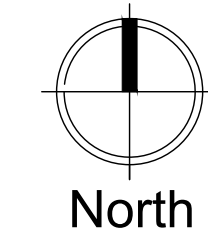
715 ARROW GRAND CIRCLE  
COVINA, CA 91722

--- P.O.T. ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/4" IF BEVEL AT 1:2 MAX. SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1" AND AT LEAST 48" IN WIDTH. THE SURFACE IS STABLE, FIRM, AND SLIP RESISTANT. CROSS SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% SLOPE, UNLESS OTHERWISE INDICATED. LANDING AT DOORWAYS SHALL BE 2% MAX.

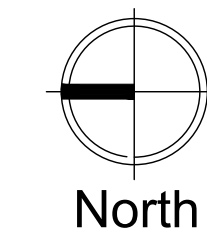
ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 84" MINIMUM AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTING FROM WALL AND ABOVE 27" AND LESS THAN 84".



1202 HUNTINGTON DRIVE VICINITY MAP



1202 HUNTINGTON DRIVE PLAT MAP



**PARKING ANALYSIS FOR HOTEL HUNTINGTON PLAZA:**  
CITY OF DUARTE MUNICIPAL CODE 19.38.050

UNIT	BUSINESS	FUNCTION	AREA (SQ FT)	REQ. SPACES	# OF SPACES
1212	EL POLLO LOCO (separate bldg)	FAST FOOD	2170	1:200	11
1210B	PROPOSED CHARTER SCHOOL	HIGH SCHOOL	1380	6/Class + 1:350 Office/Admin Area	7
1210A	STATE FARM	BUSINESS	1080	1:250	5
1208	LA SMART CONSTRUCTION	BUSINESS	1080	1:250	5
1206	LUCA STYLES SALON	BUSINESS	1079	1:250	5
1202	OFL-CHARTER SCHOOL	HIGH SCHOOL	4530	6/Class + 1:350 Office/Admin Area	19
1200	DUARTE INN (separate bldg)	HOTEL	36,220	1/room + add'l uses + 1:3 employee	55
<b>TOTAL</b>					<b>107</b>
<b>TOTAL PARKING AVAILABLE:</b>					<b>130</b>
STANDARD SPACES:					124
ACCESSIBLE SPACES:					6

REVISIONS

PROJECT DATA

DATE	09-19-25
ARCHITECT	EM
CHECKED BY	EM
DRAWN BY	AA
PROJECT NO.	-
SCALE	AS NOTED

SHEET TITLE

SITE PLAN/  
PATH OF TRAVEL

SHEET NO.

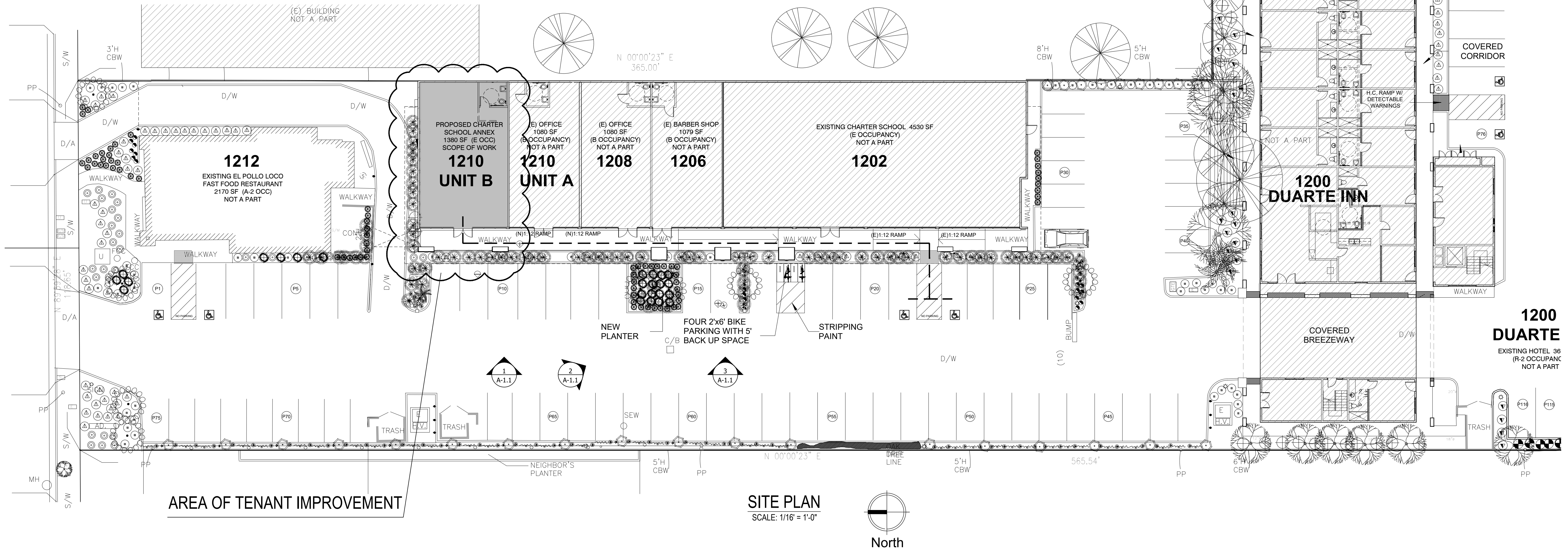
A-1.0



SOUTHEAST- FACADE AND PARKING LOT 1

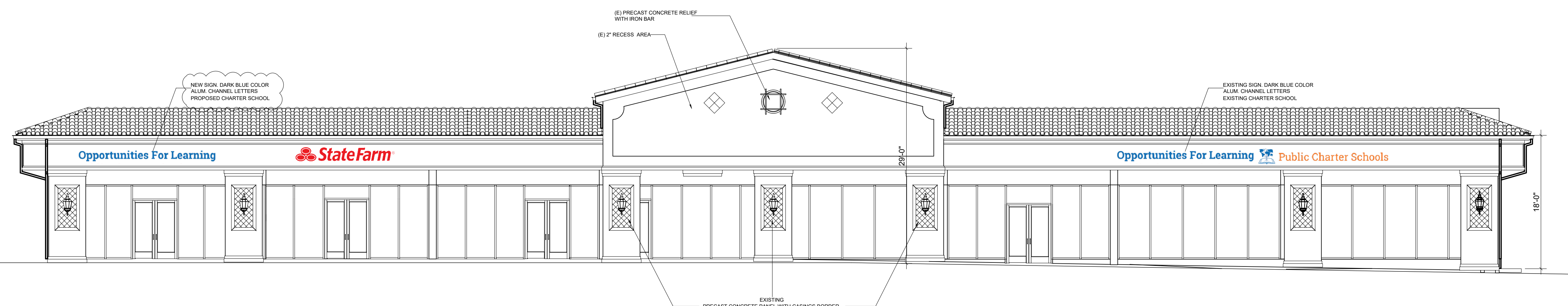


SOUTH- EXISTING ACCESSIBLE PARKING 2



AREA OF TENANT IMPROVEMENT

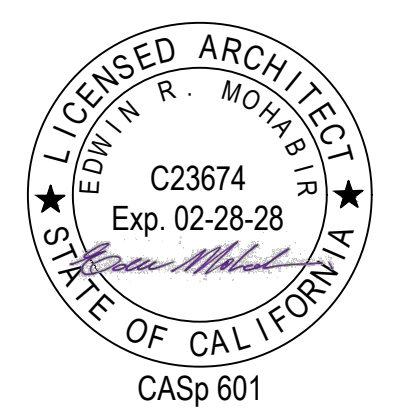
SITE PLAN  
SCALE: 1/16" = 1'-0"  
North



EAST BUILDING ELEVATION- EXISTING 3

EDWIN MOHABIR  
**EM**  
ARCHITECT, INC.

25206 BISHOP CT.  
STEVENSON RANCH, CA 91381  
tel: 323-4598809 · edwinmohabir@gmail.com



A PROJECT FOR:



1210B E. HUNTINGTON DR.  
DUARTE, CA 91010

CLIENT:



715 ARROW GRAND CIRCLE  
COVINA, CA 91722

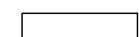
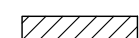
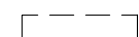
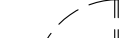
REVISIONS

PROJECT DATA	
DATE	09-19-25
ARCHITECT	EM
CHECKED BY	EM
DRAWN BY	AA
PROJECT NO.	-
SCALE	AS NOTED

SHEET TITLE  
**EXISTING CONDITIONS**

SHEET NO.  
**A-1.1**

**WALL LEGEND**

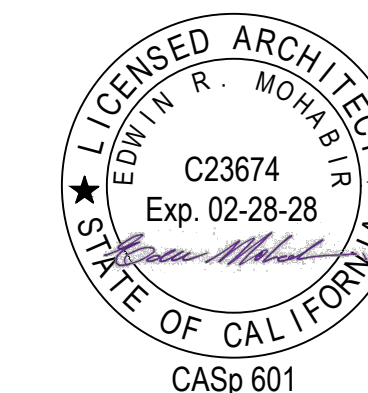
-  EXISTING WALL TO REMAIN
-  EXISTING 2-HR OCCUPANCY SEPARATION WALL FROM FLOOR TO UNDERSIDE OF ROOF FIELD VERIFY.
-  WALL TO BE REMOVED
-  DOOR TO BE REMOVED

EDWIN MOHABIR

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tel: 323-4598809 . edwinmohabir@gmail.com

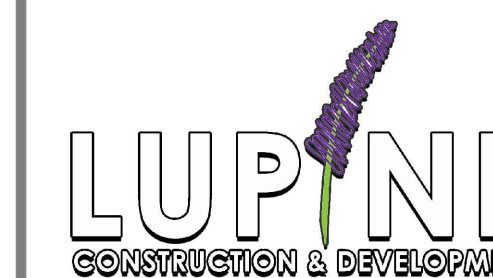


A PROJECT FOR:



1210B E. HUNTINGTON DR.  
DUARTE, CA 91010

CLIENT:



715 ARROW GRAND CIRCLE  
COVINA, CA 91722

REVISIONS

NO.	DESCRIPTION

PROJECT DATA

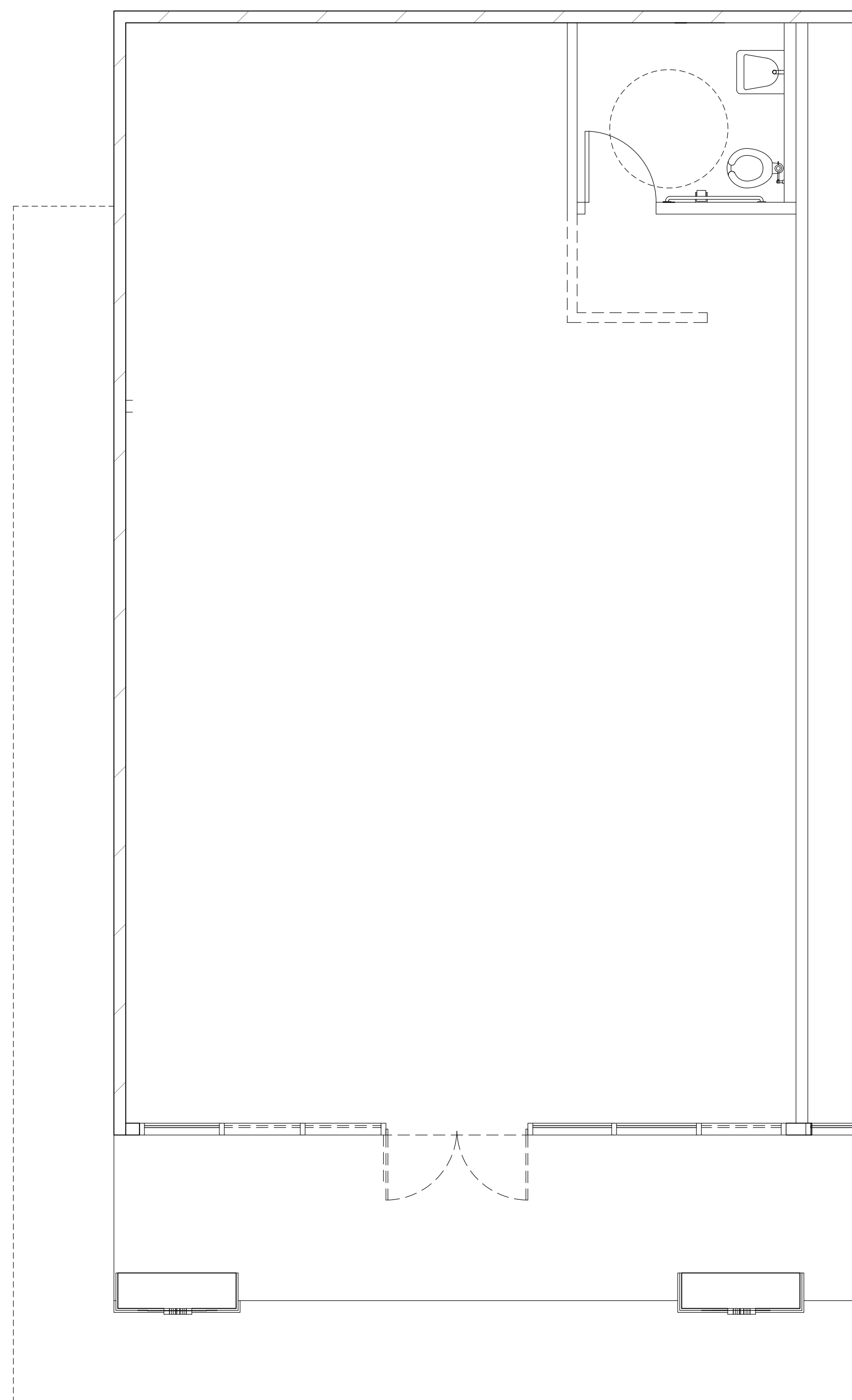
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ARCHITECT	EM
CHECKED BY	EM
DRAWN BY	AA
PROJECT NO.	-
SCALE	AS NOTED

SHEET TITLE

AS-BUILT/DEMO  
FLOOR PLAN

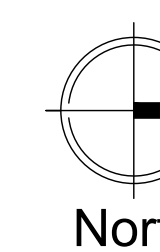
SHEET NO.

A-2.0



**1** As-Built/Demo Floor Plan

Scale: 3/16"=1'-0"



**WALL LEGEND**

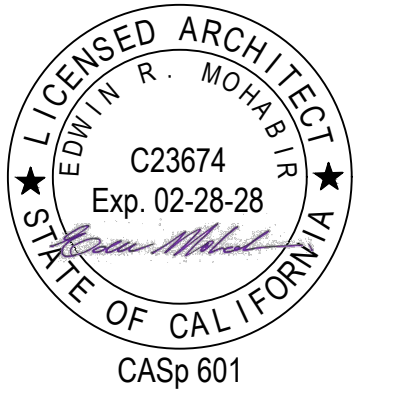
- EXISTING WALL (TO REMAIN)
- EXISTING 2-HR OCCUPANCY SEPARATION WALL FROM FLOOR TO UNDERSIDE OF ROOF FIELD VERIFY.
- NEW METAL STUD WALL w/ GYP. BD.

EDWIN MOHABIR



ARCHITECT, INC.

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STEVENSON RANCH, CA 91381  
tel: 323-4598809 . edwinmohabir@gmail.com



A PROJECT FOR:



1210B E. HUNTINGTON DR.  
DUARTE, CA 91010

CLIENT:



715 ARROW GRAND CIRCLE  
COVINA, CA 91722

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT DATA

DATE	09-19-25
ARCHITECT	EM
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DRAWN BY	AA
PROJECT NO.	-
SCALE	AS NOTED

SHEET TITLE

PROPOSED FLOOR PLAN

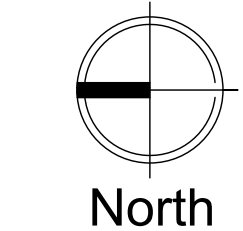
SHEET NO.

A-3.0



**1 Proposed Floor Plan**

Scale: 1/4"=1'-0"



RESOLUTION NO. PC 2020-03

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DUARTE APPROVING CONDITIONAL USE PERMIT 2020-01, FOR A CHARTER SCHOOL USE LOCATED AT 1202-1204 HUNTINGTON DRIVE.**

**WHEREAS**, the applicant is requesting approval of a conditional use permit to operate a charter middle and high school, named Opportunities for Learning, at 1202-1204 Huntington Drive; and

**WHEREAS**, a charter school located in the Town Center Specific Plan zone is a conditionally permitted use pursuant to Town Center Specific Plan Section 3.3.1; and

**WHEREAS**, notice of a public hearing on the Conditional Use Permit 2020-01 was given pursuant to Duarte Development Code Chapter 19.146 and in accordance with applicable State law; and

**WHEREAS**, the Planning Commission has considered the analysis and recommendation provided in the staff report for Conditional Use Permit 2020-01 and all of the information, evidence and public testimony received at the public meeting held on April 20, 2020 at 7:00 p.m. in the City Council Chambers;

**NOW THEREFORE**, the Planning Commission of the City of Duarte resolves as follows:

**SECTION 1. RECITALS**

All of the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

**SECTION 2. FINDINGS FOR CONDITIONAL USE PERMITS**

The Planning Commission finds and determines as follows, findings for Conditional Use Permits, as set forth in DDC Section 19.114.050(B), as:

1. The proposed use is consistent with the General Plan;

*The charter school educational use is consistent with Land Use Goal 1 of the General Plan by maintaining a balanced community consisting of various commercial activities and industrial developments. Also, the proposed business is consistent with Land Use Policy 3.1.2, which promotes flexibility in the implementation of the Town Center Specific Plan. The proposed school is the lone educational use on a property that is developed with a mix of commercial uses, which helps balance the uses over all for the site. The placement of a school at this location could also be beneficial to the restaurant and retail uses in the immediate vicinity and should not introduce adverse impacts to the area provided the recommended conditions of approval are adopted and implemented.*

2. The proposed use is allowed within the subject zone and complies with all other applicable provisions of this Development Code and the Municipal Code;

*An educational use is permitted in the Mixed-Use Corridor designation of the Town Center Specific Plan zone with a Conditional Use Permit. The use is consistent with the specific plan zoning designation as it provides educational options for the community in a central,*

convenient location. The use is in compliance with all regulations of the Duarte Development Code and Municipal Code, and conditions of approval have been included to ensure such compliance.

3. The design, location, size and operating characteristics of the proposed use are compatible with the allowed uses in the vicinity;

*The charter school will occupy one of four tenant spaces within an existing shopping center and will be adjacent to a restaurant and hotel located on the same property. The school's space is approximately 4,536 square feet, which is sufficient for accommodating the proposed educational use. The proposed school will be compatible with the project site and other uses in the vicinity provided the conditions of approval are followed. There should be no negative parking impacts associated with this use provided the conditions of approval are followed.*

4. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;

*The proposed charter school use is allowed with a conditional use permit in the Town Center Specific Plan zone. The operating characteristics of the school will allow it to complement the other uses in the center, whereas a traditional school may not. The operations feature dispersed arrivals and departures of small groups of students to the site, which is beneficial in terms of parking and circulation. Also, the students at this school only attend the school approximately twice weekly for 90 minute classes. This type of infrequent attendance makes this use more compatible with commercial businesses than a school with a typical secondary school schedule. Outside activities would be prohibited per the school's operation statement and the conditions of approval. Noise-generating activities like band and performing arts would also be prohibited by condition of approval. The conditions of approval have been imposed to help avoid adverse and detrimental impacts on the City and surrounding community. If this school creates repeated impacts that are detrimental to the health and harmony of the City, then the conditional use permit may be called by the Planning Commission for review and or revocation.*

5. The subject site is:
  - a. Physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle (e.g. fire and medical) access and public services and utilities; and
  - b. Served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate.

*The site is developed with a commercial building, restaurant and a hotel, located in the Town Center Specific Plan zone. The property is accessible from Huntington Drive and is proximate to Buena Vista Avenue and the 210 and 605 Freeways, all of which are capable of accepting the increased traffic associated with the opening of this business. The existing onsite circulation is already impacted during the midday peak and the proposed use will not adversely impact the circulation any more than a typical retail use, provided the proposed conditions of approval are adopted. Emergency vehicle access will remain adequate.*



**EXHIBIT F-1**  
Conditions of Approval  
Conditional Use Permit 2020-01  
1202-1204 Huntington Drive (Opportunities for Learning)

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1. This approval is for the establishment of a charter school at 1202-1204 Huntington Drive as stated in the staff report and described in the applicant's business project operational statement and floor plans, on file with the Planning Division. The school serves students grades 7 through 12. A maximum of 35 students and 11 staff members are allowed at the school at any one time.
2. This conditional use permit shall become invalid if the applicant or its successor fails to maintain a valid contract with Duarte Unified School District. Applicant shall provide a copy of a valid contract upon request by the City.
3. Hours of operation are limited to Monday through Friday from 8:00 a.m. to 5:00 p.m. The school shall not operate between the hours of 6 p.m. and 7 a.m.
4. The school shall be responsible for preparing a security plan, including an on-site security guard to be present during all school hours, to maintain site security. This plan is subject to the review and approval of the City's Director of Public Safety.
5. A security guard shall be present at the school entry during hours of operation, including at least 30 minutes before and 30 minutes after business hours. This guard shall be responsible for the supervision of students while they are on the property and enforce conditions related to student loitering.
6. The students shall be permitted to wait in the lobby area of the school 30 minutes before and after the academic day and during the lunch hour.
7. Up to five students may be allowed to park on-site, within stalls designated to Opportunities for Learning. The applicant shall prepare a parking management plan, to be approved by the Community Development Department before school opening to address on-site student parking demands.
8. Parents dropping students shall park, accompany the student to the school, and sign in at the reception area. The process shall be repeated in reverse for student pick up.
9. Students shall not loiter outside the tenant space anywhere on the property. Arriving students shall report directly to the school once entering the property. Departing students shall promptly leave the promptly after leaving the school. School security shall be responsible for monitoring this requirement and ensuring compliance.
10. All activities shall be held indoors, and remain indoors at all times.
11. Music, noise-generating equipment, or any other educational or business activities shall be operated at reasonable audible levels, not to exceed City Noise Regulations outlined in Chapter 9.68 of the Duarte Municipal Code or be detrimental to the operations of adjoining businesses or surrounding developments. In no case shall live music, dancing, or other performing arts be permitted in association with this use. Outdoor speakers or other

exterior audible devices are prohibited. Any substantiated complaints regarding noise, sound or other audible impacts may require submittal of a Noise Study to the Community Development Director to address any noise concerns and propose appropriate measures as needed to comply with the City's noise ordinance. The Noise Study shall be prepared by a qualified consultant, to the satisfaction of the City. Continued concerns or violations may require a public hearing before the Planning Commission.

12. Special events and gatherings will require written approval of a Special Event Permit from the Community Development Department; to be filed 10 business days prior to the hosting of an event.
13. A new or modified conditional use permit will be required at the time of change of business ownership when the subsequent business owner/operator proposes changes to the area, configuration, operations, or manner in which the original conditional use permit was approved.
14. The project shall comply with all regulations of the Duarte Town Center Specific Plan Zone, including the intent and purpose, permitted uses, development standards, and any other applicable sections of the Duarte Development or Municipal Code.
15. Any expansion or modification to the approved use as part of this conditional use permit, including but not limited to: any substantial changes to the business operation, or floor plan that may affect or intensify the use, shall be reviewed by the Planning Division and may require an application for a new conditional use permit.
16. Any signage associated with the business is not included as part of this approval; a separate review and approval process will be required for all proposed signage. All signage shall comply with the Sign Guidelines of the Duarte Development Code.
17. Any required plans and plan check fees shall be submitted to the Community Development Department for Building & Safety plan check prior to construction. Approval from Building & Safety shall be obtained prior to the issuance of permits.
18. Any required building permits for this project must be issued within one-year from the date of approval from the Planning Commission or the application and approval shall expire.
19. Any and all correction notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant, and all agents thereof.
20. This CUP may be called for review or revocation at any time by City Staff, City Council, or Planning Commission if a violation of the approved conditions is alleged, or if it is alleged that the charter school, or its students, are creating a public nuisance, as substantiated by the LA County Sheriff's Department, Public Safety Department, or any other City Department. The applicant and successors shall operate the subject premises in a safe and sanitary manner at all times. Such review of the CUP may include any remedy available to the City that will prevent negative impacts on the property and surrounding developments. Problems or continued/repeated violations of any Municipal Code, conditions of approval or any other governmental regulations may be grounds for initiation of proceedings for the revocation of this CUP before the Planning Commission pursuant to Section 19.152.030 of the Duarte Development Code.

21. This entitlement shall be contingent upon the privileges being utilized within 12 months from the effective approval date.
22. The applicant shall obtain a valid business license with the City of Duarte prior to commencement of business operation. Contact the City Finance Division for more information.
23. The decision of the Planning Commission may be appealed to the City Council within 15 days of the Planning Commission's decision. Said appeal must be in writing and filed with fees paid to the City Clerk's Office. The written appeal shall include reasons for the appeal.
24. That by acceptance of the approval of the project by the City, the applicant shall defend, indemnify and hold harmless the City of Duarte and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers and employees to challenge, set aside, void or annul the approval of the project or from any other action pertaining to this application or the granting of this conditional use permit which may be brought within the time period provided for such actions or challenges under applicable law.