



**CITY OF DUARTE
PLANNING COMMISSION
MINUTES
March 19, 2018**

**Planning Commission
Commissioners**
Paula Watson-Gardner, Chair
Sara Vasquez, Vice-Chair
George K. Farra
Shauna Pierce
Wally Wolff

1. [CALL TO ORDER AND NOTATION OF ANY ABSENCES](#)

Chairperson Watson-Gardner called the meeting to order at 7:04 p.m.

The following were in attendance:

PRESENT: Watson-Gardner, Farra, Pierce, Wolff
ABSENT: Vasquez
STAFF: Hensley, Golding, Hernandez
DEPUTY CITY ATTORNEY: None

2. [PLEDGE OF ALLEGIANCE](#)

Pierce led the Pledge of Allegiance.

3. [APPROVAL OF MINUTES: February 20, 2018](#)

Farra moved to approve the minutes of February 20, 2018 with minor typographical errors. Seconded by Wolff. Motion approved 3-0-1-1. (Vote: Yes: Watson-Gardner, Farra, Wolff; No: None; Abstain: Pierce; Absent: Vasquez)

4. [COMMISSION REORGANIZATION](#)

Farra moved to table the Commission Reorganization to the April meeting due to absence of Vice-Chair Vasquez. Seconded by Wolff. Motioned approved 4-0-0-1. (Absent: Vasquez)

5. [ORAL COMMUNICATIONS ITEMS NOT ON THE AGENDA](#)

None.

6. [DISCUSSION ITEM](#)

Hensley discussed new changes to the minute's process.

7. [ITEMS FROM DIRECTOR](#)

Hensley provided an update on the opening of the Habit Restaurant and City Council approval of the City of Hope Specific Plan and EIR.

8. ITEMS FROM COMMISSIONERS

None.

9. ADJOURNMENT: Monday, April 16, 2018

Chairperson Watson-Gardner adjourned the meeting at 7:16 p.m.

Craig Hensley, Secretary



PLANNING COMMISSION STAFF REPORT

Date: April 16, 2018

Project: Conditional Use Permit 17-04 and Site Plan and Design Review 17-30

Subject: Request to Establish a Place of Religious Assembly and Construct Two New Single-Story Structures

Location: 2632 Royal Oaks Drive

Applicant: B&K Home Inc. (For Kwan Yin Temple)

SUMMARY

Kwan Yin Meditation Temple Inc. is requesting approval to construct and operate a new meditation temple at 2632 Royal Oaks Drive. The property is currently improved with a single-story structure and an asphalt parking lot area. The existing structure (former church) and parking area will be demolished, and a new meditation temple will be constructed. The new meditation temple will consist of two separate structures, both single story, designed in a Spanish architectural style. The property will also be improved with a new parking lot and new landscape throughout. The temple will operate within designated hours and include occasional special events and celebrations. The temple will be available for member use only.

Planning Commission's approval of the design review application (PC Resolution 18-07) is contingent upon Planning Commission's approval of the conditional use permit application (PC Resolution 18-06).

Staff recommends the Planning Commission adopt PC Resolution 18-06 and PC Resolution 18-07, approving the operation and construction of the Duarte Kwan Yin Meditation Temple.

ENVIRONMENTAL

This project is exempt from the California Environmental Quality Act (CEQA) pursuant to exemption in Section 15332, Class 32 of Title 14 of the California Code of Regulations. Therefore, no further environmental review is necessary in accordance with CEQA Guidelines and a Notice of Exemption has been prepared for this project.

BACKGROUND

The existing geodesic dome structure at 2632 Royal Oaks was built in 1972 for the operation of a church. The property changed ownership several times with the intention of continuing to operate as a church. The Kwan-Yin Meditation Temple purchased the property in 2016 with a desire to demolish the existing structure and build a new meditation temple. Kwan Yin has also applied for a conditional use permit to operate the meditation temple.

Kwan-Yin Temple has owned and operated a meditation temple in the City of Monrovia since 1997. Their current temple operates in a historic building in the City of Monrovia. The Monrovia location

has presented challenges for their elderly members due to inadequate accessibility throughout the property and within the two-story building. The Monrovia temple will continue to operate as the primary location. The proposed temple in the City of Duarte will serve as the secondary (satellite) location that will be more accommodating for elderly members.

A conditional use permit (CUP) and site plan and design review is required for the operation and construction of a new place of religious assembly. Pursuant to Section 19.122.050(C) of the Duarte Development Code, the Architectural Review Board is the recommending body for the site plan and design review application, and the Planning Commission is the final decision making body. On March 12, 2018, the Architectural Review Board recommended approval of the project, with conditions, for the Planning Commission's consideration.

The project site is located within the R-1, Single Family Residential zone at the southeast corner of Royal Oaks Drive and Park View Court. Although the property is a corner lot, vehicle and pedestrian access is only available from Royal Oaks Drive. The property contains an L-shaped design and is roughly 20,600 square feet. It is surrounded by single-family residential to the south and west, Royal Oaks Park to the north, and a water company building owned by California American Water to the east.

PROJECT DESCRIPTION

The Kwan Yin Meditation Temple is proposing the following:

Demolition and site clearance

The existing church building, foundation, and utilities as necessary will be demolished. The parking lot area and parking lot lights will be cleared from the property, along with planter curbs and concrete walkways, fences, and one driveway approach. At the completion of the demolition phase the site will be cleared and rough graded in preparation for construction.

New construction

The Kwan Yin temple will consist of two single-story structures – the Meditation Hall and the Dining Hall – designed in a Spanish architectural style. The combined building area of the temple is roughly 3,787 square feet.

- The Meditation Hall is 1,432 square feet and will be designed as an open space with two small changing rooms.
- The Dining Hall is 2,355 square feet and will include a kitchen, dining area, office, and monk's room.
- Both structures will contain a height of 18 feet, however the Meditation hall includes a tower element that will extend to 22 feet. Both structures will be setback 20 feet from the front property line and 20 feet from the rear property line
- Both structures will include a smooth stucco finish in light tan colors. The windows will include a recessed design, which is typical with the proposed architectural style. Additional elements such

as faux clay pipes, exposed rafter tails and a decorative cornice will also be incorporated into the design. To further accentuate the project, tile will be added to the base of the buildings and columns, and inset around the entry door.

Site Improvements

The property will be substantially upgraded with a new parking lot and parking lot lights, new landscaping and decorative walkways throughout the site, and new fences and walls.

- The current parking lot is located along the west property line. The new parking lot will be reconstructed in the same general location and include one approach and drive aisle for ingress/egress, while another remaining approach and drive aisle will be removed. A total of 25 parking stalls will be provided, including two ADA accessible parking stalls, served by a 26-foot wide drive aisle.
- Landscape improvements will incorporate a variety of drought-tolerant plants and trees throughout the property, most notably along Royal Oaks Drive and along the perimeter of the parking lot. The site improvements will also incorporate new concrete walkways to complement the landscape areas and provide efficient pedestrian access. The landscape will provide an added appeal to the project and property.
- Fences and walls will be improved to increase screening from adjacent properties that will address many years of deferred maintenance related to fencing. A new block wall will be constructed along the south property line between the temple and residential properties. The east property line contains an existing chain link fence; this will be required to be replaced with a block wall. The west property line also contains an existing block wall. This wall will remain to provide screening of vehicles and shield headlights from the residential homes on Park View Court. The wall be repaired and adjusted as needed to address the above concerns. The front property line will remain open with no fence or wall along Royal Oaks Drive.

Operation

The Kwan-Yin temple will be a place for individual and small group meditations, Buddhism study, and consultations. The temple is a members-only operation that is not open to the general public. Hours of operation of the temple will occur between 7:00 AM and 4:00 PM daily. Consultations, which may include assistance with weddings or member relocation, will occur by appointment during the temple hours. The temple will not be used or rented to outside organizations or the general public for the use weddings, private banquets, etc.

Annual events that coincide with different Buddhist deities and holidays will be held at the Duarte temple. These events will include celebrations such as the Lunar/Chinese New Year, Buddha's birthday, 4th of July, Labor Day, and celebration of ancestors, among others. The current temple in Monrovia will continue to be used for the large/major events and gatherings while the Duarte temple will be primarily used for small gatherings.

The meditation hall, as described above, will be used for group gatherings during meditation and chanting ceremonies. The number of participants will be limited to a maximum of 30 members. Typically, meditation and chanting ceremonies last roughly one hour to one hour and a half. The

meditation and chanting ceremonies do not occur every day or on a routine schedule. Chanting and meditations are planned gatherings that usually occur as part of a special occasion or celebration recognized by the temple. Chanting and meditation occur earlier in the day, normally by noon. The two changing rooms in the meditation hall will be for monks to change into their clothing for chanting participation.

The dining hall building will be used for several activities and services. The kitchen and dining area will be used to prepare and serve meals for members after group meditations. The office area will be a place for members, membership inquiries, and consultation services. The monk's room will be a designated place for the Head Monk to seek solitude before and after ceremonies. The monk's room will also function as a bedroom. One to two monks will reside on site to conduct services and be caretakers of the temple when it is closed. The monk room is roughly 174 square feet and includes a ¾ restroom (toilet, sink, shower).

ANALYSIS

Conditional Use Permit

A CUP is required for the operation of a place of religious assembly. Uses such as this have the potential to create impacts on the property and surrounding community when established within a residential zone. The existing church was constructed without a conditional use permit in 1972. This is also prior to Section 19.60.140 being incorporated into the Duarte Development Code, which provides additional criteria for places of religious assembly.

The applicant is requesting approval of a CUP, which, if granted, will provide operational regulations for the meditation temple. The CUP will also include conditions of approval to ensure the temple operation remains compatible with the surrounding uses. As such, granting the CUP will establish the necessary entitlement for the use and meet the requirements of section 19.10.020 of the Duarte Development Code.

The Kwan Yin Temple currently has a main location established in the City of Monrovia with roughly 250 members. The Monrovia temple operates out of a larger building and property, giving it the ability to provide more services and accommodate the larger population. The Kwan Yin Temple in Duarte will not replace the Monrovia temple or inherit the full member population. The primary purpose of the Duarte temple is to provide a location that is accommodating and convenient for the matured/elder members of the temple. The Duarte temple will serve as a satellite location intended as a place for individual or small group gatherings only. Group sizes will range in size but will not exceed 30 persons for the Duarte temple. Meditation practices require a certain amount of space per member to comfortably carry out the meditation practices. The meditation area at the Duarte temple is roughly 1,344 square feet, which according to the Temple is sufficient for up to 30 members.

The temple operates daily from 7:00 AM to 4:00 PM, consistent with the Monrovia temple. During these hours the temple will be open mostly for consultation services. Consultations usually involve two to three members at a time and occur on an appointment-only basis. This is unlikely to generate much daily activity. The meditation ceremonies and small gatherings occur on a scheduled basis following the Buddhist/Lunar calendar. These events or gatherings are mostly on an annual basis, ranging from five to six events per year, and do not occur routinely throughout regular business

hours. Events that are known to generate a large attendance will occur at the main temple in Monrovia. Occasionally, both temples may be used during an event to alleviate the capacity and accommodate local members. However, the operation will still limit the attendance to no more than 30 as a result of the available space.

As a satellite location with limitations on the size and frequency of gatherings, the operation appears unlikely to cause impacts to the surrounding community. The temple has established an operation that essentially incorporates these restrictions in effort not to disturb the surrounding neighborhood. To ensure the operation is maintained as such, a condition of approval will be added that limits gatherings to a maximum of 30 people unless a larger amount is approved by the Community Development Director.

Monk on-site residency is also typical part of the temple operation. The monks live on site to function as spiritual leaders and caretakers of the temple. The monks will reside on site alone and will not be accompanied by families. The Duarte temple will provide a relatively small break/monk room (174 square feet) that includes an open area and a $\frac{3}{4}$ bathroom. The room is roughly the size of a bedroom that is designed to accommodate one or two monks at the most. Two monks residing in the temple is unlikely to generate activity or impacts greater than the surrounding single-family homes. Although monks typically do not drive, two additional parking have been provided for the resident monks above the minimum requirement for the temple use. The additional parking stalls will ensure the parking minimum for the temple use and members is properly maintained. Furthermore, two additional parking stalls is consistent with parking requirements of a single-family home. The temple will be limited to a maximum of two monks only. A condition of approval will be added to ensure the residency does not extend beyond two monks or become detrimental to the community.

Site Plan and Design Review

Duarte Development Code Section 19.60.140 provides additional locational and developmental criteria for places of religious assembly. These requirements are not intended for religious facilities that have been legally established.

Section 19.060.140 requires a minimum lot size of 40,000 square. The subject property is a legally subdivided parcel that was developed for a church in 1972. Although the parcel size does not meet the minimum requirements, the temple has been designed to comply with the development standards of the R-1 zone with respect to lot coverage, setbacks, and height. The proposed lot coverage of roughly 20% is below the maximum allowed in the R-1 zone; a rear setback of 20 feet exceeds the minimum requirement for the R-1 zone; and the overall height of the structure is less than the maximum allowed within the R-1 zone.

The temple makes good use of a Spanish architectural style throughout the entire project to provide an improvement to the property and to enhance compatibility with surrounding structures. The exterior finish sets the tone of the overall design. Smooth stucco and a light tan color palette establish the Spanish-style influence; the accent details such as base tile, recessed windows, clay pipes, help to reinforce the architectural style. The front (north) elevation is the most prominent as it sits along Royal Oaks Drive. The applicant took this into consideration by incorporating every detail of the overall design to establish a strong street presence. This is typical for the most prominent elevation. However, a 360-degree approach was incorporated into the project design, emphasizing major and subtle details into all sides of the project. In doing so, the same details such as the

recessed windows, faux clay pipes, tile work, etc. can be seen along all sides of the project, including those less visible from the street.

Separating the temple into two structures helps control architectural massing. Both structures will incorporate a hipped roof design using concrete tiles in a Spanish-style and color range. Hipped roofs help building massing and keep the structures proportionate to the site and surroundings, while also complementing the architectural style. The overall height of 18 feet and the tower height of 22 feet is consistent with development standards allowed within a single family residential zone. Both structures also incorporate good horizontal and vertical building articulation. There are various pop-out features throughout each elevation and varying roof heights. Two covered entries and an architectural tower feature increase the articulation and provide focal elements in the design.

The placement of the structures also contribute to the overall design of the project. The structures maintain setbacks of 20 feet along the front and rear property lines. The R-1 zone requires 20 feet along the front, however the minimum along the rear is only 10 feet. The additional 10 feet proposed along the rear will allow greater opportunity for landscape improvements and a create a larger buffer between the adjacent residential properties to the south.

Parking and Circulation

Section 19.60.140 also requires a minimum of two access points on to the property. The requirement for two vehicle access points is directly associated with the required parcel size. Larger parcels will typically include a larger parking area that can accommodate multiple access points and drive aisles. Additionally, a religious facility developed on a larger parcel is more likely to generate a higher traffic volume that would make two access points necessary. The proposed temple will provide one access point to the parking area, which appears sufficient for the property and temple operation. Although, only one access point is provided, it will lead to a 26-foot drive aisle that is designed for two-way traffic. The two-way drive aisle will allow adequate back up distance for parked vehicles and sufficient circulation for ingress and egress.

Typically in Buddhist culture, the amount of vehicle traffic and drivers is relatively low. However, the parking standards remain applicable. The Duarte Development Code requires 23 parking stalls. A total of 25 parking stalls, including two additional stalls for the resident monks, will be provided within the parking lot area. This exceeds the minimum requirements for places of religious assembly and appears suitable for the temple operation.

The parking lot area will incorporate new parking lot lights. The light standards (poles) will be designed to prevent spillover lighting on the adjacent properties to the best extent possible. This will be achieved with adequate optics, a sufficient light standard height, and photometric study. A condition of approval will be added requiring approval of a photometric study prior to beginning the Building plan check process.

RECOMMENDATION

Staff recommends that Planning Commission review the information provided and adopt:

Planning Commission
April 16, 2018



Conditional Use Permit 17-04
Site Plan and Design Review 17-30
Kwan Yin Temple
Page 6 of 7

1. PC Resolution 18-06 approving Conditional Use Permit 17-04.
2. PC Resolution 18-07 approving Site Plan and Design Review 17-30.

Respectfully Submitted,



David F. Eoff IV
Associate Planner

ATTACHMENTS

- Exhibit A: PC Resolution 18-06
Exhibit B: PC Resolution 18-07
Exhibit C: Colored Rendering, Project Plans, and Sample Building Color Elevations
Exhibit D: Supplemental Zoning and Property Info Sheet

Exhibit A

RESOLUTION NO. PC 18-06

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DUARTE APPROVING CONDITIONAL USE PERMIT 17-04, FOR A MEDITATION TEMPLE, LOCATED AT 2632 ROYAL OAKS DRIVE

WHEREAS, the applicant is requesting approval to operate a meditation temple, also known as a place of religious assembly, at 2632 Royal Oaks Drive; and

WHEREAS, a place of religious assembly is an allowed use in the R-1 zone with an approved conditional use permit; and

WHEREAS, the existing church was constructed in the 1970's and operated without a conditional use permit and prior to Section 19.60.140 being incorporated into the Duarte Development Code; and

WHEREAS, the proposed temple meets the development standards of the R-1 zone and complies with architectural design guidelines outlined in Chapter 19.44 of the Duarte Development Code; and

WHEREAS, the proposed meditation temple will not create an intensified use greater than the previous operation; and

WHEREAS the proposed meditation temple will be regulated under the requirements and conditions associated with this Resolution, which grants approval of a conditional use permit; and

WHEREAS, the Planning Commission has considered the analysis and recommendation provided in the staff report for Conditional Use Permit application 17-04 and all the information, evidence and public testimony received at the public meeting held on April 16, 2018 at 7:00 p.m. in the City Council Chambers;

NOW THEREFORE, the Planning Commission of the City of Duarte resolves as follows:

SECTION 1. That the Planning Commission approves PC Resolution 18-06 with conditions, a request for Conditional Use Permit 17-04 at 2632 Royal Oaks Drive.

SECTION 2. All the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

SECTION 3. The Planning Commission finds and determines as follows, findings for Conditional Use Permits, as set forth in DDC Section 19.114.040(B), as:

1. The proposed use is consistent with the General Plan;

The project conforms to the goals and objectives of the General Plan and the regulations of Chapter 19.10 (Residential Zones), including the intent and purpose, permitted uses, and other development standards. The use is also consistent with the land use goal by providing compatible and harmonious land uses by providing a mix of uses consistent with projected future social, environmental, and economic conditions.

2. The proposed use is allowed within the subject zone and complies with all other applicable provisions of this Development Code and the Municipal Code;

A place of religious assembly is allowed within the R-1 zone with an approved conditional use permit pursuant to Section 19.10.020 of the Duarte Development Code. Section 19.60.140 of the Duarte Development Code provides additional locational and operational criteria for religious facilities; however the criteria is not intended for facilities that are legally established.

Section 19.60.140 requires a minimum lot size of 40,000 square feet for the operation of a place of religious assembly. The subject property is a legally subdivided lot that has been developed for a church since 1972. Although the parcel size does not meet the minimum requirements, the temple has been designed to comply with the development standards of the R-1 zone with respect to lot coverage, setbacks, and height. The proposed lot coverage of roughly 20% is below the maximum allowed in the R-1 zone; a rear setback of 20 feet exceeds the minimum requirement for the R-1 zone, creating a sufficient buffer between the temple and adjacent residential properties to the south; and the overall height of the structure is less than the maximum allowed within the R-1 zone as well as consistent with a typical height of a single-story or two-story home.

Section 19.60.140 also requires a minimum of two access points on to the property. The requirement for two vehicle access points is directly associated with the minimum parcel size. Larger parcels will typically include a larger parking area that can accommodate multiple access points and drive aisles. Additionally, a religious facility developed on a larger parcel is more likely to generate a higher traffic volume that would make two access points necessary. The proposed temple will provide one access point to the parking area, which appears typical and sufficient for the parking area it will serve and the temple's operation. Although, only one access point is provided, it will lead to a 26-foot drive aisle that is designed for two-way traffic. The two-way drive aisle will allow adequate back up distance for parked vehicles and sufficient circulation for ingress and egress.

By adoption of this resolution, the temple will be regulated by a conditional use permit and will meet the requirements of Section 19.10.020 of the Duarte Development Code. Despite not meeting the lot size requirements, the project has been designed to comply with the Development Code to the greatest extent possible.

3. The design, location, size and operating characteristics of the proposed use are compatible with the allowed uses in the vicinity;

The project site is located within the R-1 zone and is currently improved with an existing church structure. The site is accessible from Royal Oaks Drive. The property is roughly 20,600 square feet, with a street frontage width of approximately 200 feet. The site is surrounded by single-family residential properties to the south and west. The structure is setback 20 feet from the south property line to create a sufficient buffer between the adjacent properties. The single-family homes to the west are not directly adjacent to the subject site, as they are located on the west side of Park View Court. Additionally, the parking lot area is located generally on the west side of the property, creating a large separation between the homes and the temple. The temple is designed in a Spanish architectural style that has resemblance to a single-family home. The scale and massing is

proportionate to the site and surroundings, and is consistent with the development standards allowed for a single-family home in that zone.

The temple operation is low intensity and limited by the size of the temple. The temple does not include large daily or weekly gatherings, as all gatherings occur on a scheduled basis throughout the year. Additionally, all activities will occur inside the temple buildings, keeping the activity and noise levels within a controlled area. Conditions of approval will be added to ensure the temple remains compatible with the surrounding uses.

4. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;

The general nature of the temple includes a low intense operation that is suitable for the proposed location and will not be detrimental to surrounding neighborhood. All activities will remain indoors, and the gatherings and special events will be limited in size and occurrence. The temple is available to members only and functions as a satellite location that is designed to accommodate elderly members. Daily operations will consist of individual and/or family consultations, or Buddhism studying. Conditions of approval will be imposed to ensure the operation does not create any adverse impacts on the City of surrounding community.

5. The subject site is:
 - a. Physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle (e.g. fire and medical) access and public services and utilities; and
 - b. Served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate.

The site is approximately 20,600 square feet in size, which is sufficient for the 3,787 square-foot temple and parking lot area. The property is in the R-1 zone along Royal Oaks Drive with one access point for ingress and egress. Onsite circulation is maintained with a two-way drive aisle that provides access to the parking stalls and sufficient turn around for safe exiting. The site is suitable for the temple operation and emergency vehicle access.

SECTION 5. The Planning Commission approves Conditional Use Permit 17-04 based on the findings listed in Section 3 and the conditions listed in “Exhibit A-1”.

SECTION 6. The approval of Conditional Use Permit 17-04 by the Planning Commission is exempt from the California Environmental Quality Act (CEQA) pursuant to exemption in Section 15301, Class 1 of Title 14 of the California Code of Regulations. Therefore, no further environmental review is necessary.

APPROVED, AND ADOPTED by the Planning Commission of the City of Duarte at a regular meeting held on the 16th day of April 2018.

Paula Watson-Gardner
City of Duarte Planning Commission

ATTEST:

Craig Hensley, Community Development Director

CITY OF DUARTE
COUNTY OF LOS ANGELES } ss.
STATE OF CALIFORNIA

I, Craig Hensley, Secretary of the Planning Commission of the City of Duarte, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Duarte held on April 16, 2018, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Craig Hensley, Community Development Director

EXHIBIT A-1
Conditions of Approval
Conditional Use Permit 17-04
2362 Royal Oaks Drive

1. This approval is for the operation of the Kwan Yin Meditation temple (place of religious assembly) located at 2632 Royal Oaks Drive, as stated in the staff report and described in the applicant's business proposal statement, on file with the Planning Division.
2. The temple shall be accessible to members only and not intended for general public use.
3. No more than thirty (30) members and two (2) monks shall be on the premise at anytime for daily operations and/or special events/gatherings, unless approved by the Community Development Director.
4. The hours of operation for the temple shall be from 7:00 AM to 4:00 PM daily. The daily hours of operation shall be for incidental services conducted by the temple – consultation, study sessions, etc. and not intended for daily or routine events or large gatherings. Any request to alter these hours shall require approval from the Community Development Director prior to implementing. Such changes may require additional review from the Planning Commission.
5. The Duarte temple shall operate as the secondary/satellite location to the main temple located in Monrovia. In the event the main temple shall cease operation, and updated operation statement for the Duarte temple shall be provided to the Community Development Department for review to ensure the operation does not intensify or create adverse impacts on the surrounding neighborhood. Proper notification of the main temple ceasing operation shall be provided to the Duarte Community Development Department within a reasonable amount of time.
6. Special events and gatherings shall occur on a scheduled basis with a frequency no greater than once per month; no more than 30 members shall be in attendance at any special event or gathering, unless prior written approval is obtained from the Community Development Director. Such events or gatherings that are expected to occur more than once per month or exceed 30 members may require review and approval of a Special Event Permit.
7. All activities, services, gatherings, events, etc. shall remain indoors unless prior written approval from the Planning Division is obtained.
8. No more than two (2) monks shall reside on the property at all times. The monk residency area shall be restricted to the monk room as depicted on the approved floor plan on file with the Planning Division. Any changes to the size, location, or use of the monk room shall require approval from the Community Development Director prior to implementing. Such changes may require additional review from the Planning Commission.
9. The meditation hall and/or dining hall shall not be rented or used by outside organizations or the general public for weddings, private banquets, or similar. The use of the temple is for members only and shall not be considered or used as a venue for non-member social gatherings.

10. Any outdoor storage associated with this use is strictly prohibited.
11. In the event that the applicant (Kwan Yin Temple) vacates the subject property or a change of ownership occurs, the Conditional Use Permit in compliance with the provisions of Chapter 19.114 of the Duarte Development Code shall continue to be valid as it was originally approved, provided the new tenant/successor owner meets the requirements of this Conditional Use Permit for places of a religious assembly. In the event the Conditional Use Permit is not actively exercised for a continuous period of twelve (12) months, the Conditional Use Permit and approval shall become invalid.
12. Any expansion or modification to the approved use as part of this conditional use permit, including but not limited to any substantial changes to the floor plan, additional services, transition from satellite location to main temple, or other changes that may affect or intensify the business operation shall be reviewed by the Planning Division, and may require Planning Commission approval of a new conditional use permit.
13. The project shall comply with all regulations of the R-1 Single-Family Residential Zone, including the intent and purpose, permitted uses, development standards, and any other applicable sections of both the Duarte Development Code and Duarte Municipal Code.
14. The temple activities shall be maintained at reasonable audible levels, not to exceed the City Noise Regulations outlined in Chapter 9.68 of the Duarte Municipal Code. Any substantiated complaints regarding noise, sound or other audible impacts may require submittal of a Noise Study by the Community Development Director to address any noise concerns and propose appropriate measures as needed to comply with the City's noise ordinance. The Noise Study shall be prepared by a qualified consultant, to the satisfaction of the City. Continued concerns or violations may require a public hearing before the Planning Commission.
15. Any required building permits for this project must be issued within one-year from the date of approval from the Planning Commission or the application and approval shall expire.
16. This CUP may be called for review or revocation at any time by City Staff, City Council, or Planning Commission if a violation of the approved conditions is alleged, or if it is alleged that temple operation, or its patrons, are creating a public nuisance, as substantiated by the LA County Sheriff's Department, Public Safety Department, or any other City Department. The applicant and successors shall operate the subject premises in a safe and sanitary manner at all times. Such review of the CUP may include any remedy available to the City that will prevent negative impacts on the property and surrounding developments. Problems or continued/repeated violations of any Municipal Code, conditions of approval or any other governmental regulations may be grounds for initiation of proceedings for the revocation of this CUP before the Planning Commission pursuant to Section 19.152.030 of the Duarte Development Code.
17. This entitlement shall be contingent upon the privileges being utilized within 12 months from the effective approval date.
18. The decision of the Planning Commission may be appealed to the City Council within 15 days of the Planning Commission's decision. Said appeal must be in writing and filed with fees paid to the City Clerk's Office. The written appeal shall include reasons for the appeal.

19. That by acceptance of the approval of the project by the City, the applicant shall defend, indemnify and hold harmless the City of Duarte and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers and employees to challenge, set aside, void or annul the approval of the project or from any other action pertaining to this application or the granting of this conditional use permit which may be brought within the time period provided for such actions or challenges under applicable law.

Exhibit B

RESOLUTION PC 18-07

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DUARTE APPROVING SITE PLAN AND DESIGN REVIEW CASE 17-30, FOR CONSTRUCTION OF A NEW MEDITATION TEMPLE AND ASSOCIATED SITE IMPROVEMENTS, LOCATED AT 2632 ROYAL OAKS DRIVE

WHEREAS, Kwan Yin Temple is requesting approval to demolish the existing structure and construct two new single-story structures totaling 3,787 square feet along with additional site improvements that include new landscape, and a new parking lot at 2632 Royal Oaks Drive; and

WHEREAS, Table 7-2 listed in Section 19.122.030.B of the Duarte Development Code requires a recommendation from the Architectural Review Board and approval from the Planning Commission for nonresidential construction greater than 2,500 square feet; and

WHEREAS, on March 12, 2018, the Architectural Review Board reviewed the plans for ARB Case 2017-30 and recommended approval to the Planning Commission subject to conditions; and

WHEREAS, the Planning Commission of the City of Duarte ("Planning Commission") has considered the project proposal, which provides, among other provisions, for the construction of a 3,787 square foot meditation temple and associated site improvements at 2632 Royal Oaks Drive; and

WHEREAS, the Planning Commission has considered the analysis and recommendation provided in the staff report and all of the information, evidence and public testimony received at the public meeting held on April 16, 2018.

NOW THEREFORE, the Planning Commission of the City of Duarte resolves as follows:

SECTION 1. That the Planning Commission approves Resolution PC 18-07 with conditions of approval "Exhibit B" for the construction of two single-story structures totaling 3,787 square feet of building area located at 2632 Royal Oaks Drive.

SECTION 2. All of the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

SECTION 3. The Planning Commission finds and determines as follows, findings for Site Plan and Design Review, as set forth in DDC Section 19.122.050 (E), as the proposed development is:

1. Consistent with the General Plan and is in compliance with all applicable provisions of the Duarte Development Code and all other City ordinances and regulations;

The project conforms to the goals and objectives of the General Plan and the regulations of Chapter 19.10 (Residential Zones), including the intent and purpose, permitted uses, and other development standards. The use is also consistent with the land use goal by maintaining a balanced community.

2. To be constructed on a parcel that is adequate in shape, size, topography, and other circumstances to accommodate the proposed development:

The project will consist of a total of 3,787 square feet of building area constructed on to an existing parcel that is roughly 20,600 square feet. The project will include two structures,

1,432 square feet and 2,355 square feet, both of which can be accommodated on the project site. Furthermore, the new addition meets the development standards of the Duarte Development Code.

3. In compliance with the applicable criteria specified in Subsection 19.122.040(D), and the site is suitable for the proposed development:
 - a. *Compatibility. The project will create an enhancement to the property and surrounding community. The project meets the requirements of the R-1 zone and has been designed to be compatible with design, scale and proportion of the surrounding developments.*
 - b. *Architectural Design and Detail. The project has been designed with unique elements that reflect a Spanish-style architecture. A variety of elements such as: smooth stucco, light tan colors, recessed windows, tile accents, among others, help define the architectural design and create a visual enhancement along Royal Oaks Drive. Furthermore, the project is consistent with the design guidelines outlined in the Duarte Development Code.*
 - c. *Landscape, Lighting, Parking, Signs, and Other Design Details.*
 - *Equipment and Utilities. All new service and utilities will be installed in a manner that screens them from the public right-of-way. New equipment will be installed within attic area or ground-mounted in rear or side of the property, or underground, and screened from the public right-of-way. Roof-mounted equipment will not be allowed.*
 - *Fences/Walls. The project will include repairs and improvements to the existing perimeter block wall, and the construction of a new block wall along the south and east property line. A block wall plan will be required for review and approval.*
 - *Landscaping. The project includes new landscape improvements throughout the property, around the new structures and the perimeter of the parking lot. All landscape proposals will require separate review and approval to ensure landscape areas have been designed to meet the intent and purpose of Chapter 19.40 (Landscaping) of the Duarte Development Code, and will complement the project by providing a welcoming appeal along Royal Oaks Drive.*
 - *Lighting. The project includes new parking lot lighting and exterior wall-mounted light fixtures. The exterior lighting will require separate review and approval to ensure compliance with the performance standards for outdoor lighting outlined in the Duarte Development Code. The exterior lighting will be required to meet energy efficiency requirements and contain a decorative design that complements the architectural style of the property. A separate review and approval will be required.*
 - *Parking. The project exceeds the minimum parking requirements for places of religious assembly, as outlined in the Duarte Development Code. A total of 25 parking stalls are provided, which includes 2 additional stalls intended for monk residence. The project will improve the on-site parking and circulation with the construction of a new parking lot that includes 90-degree parking and a 26-foot wide two-way drive aisle. The drive aisle will provide access to the parking area and adequate turn-around for safe exiting. There are no foreseeable issues with parking.*
 - *Signs. The project does not include the approval of any signs. All new signs will require separate review to ensure compliance with the Duarte Development Code.*

4. Designed and arranged to provide adequate consideration to ensure the public health, safety, and general welfare, and to prevent adverse effects on neighboring property.

The site is sufficient in size and shape to accommodate the proposed use and operation. The project site is in the R-1 zone surrounded by residential uses. The scale and operation of the temple is consistent with what the R-1 zone would allow. With the conditions of approval imposed on the project it is unlikely to cause any significant impacts to the surrounding uses.

SECTION 4. The Planning Commission approves ARB Site Plan and Design Review Case 2017-30 based on the findings listed in Section 3 and the conditions of approval listed in “Exhibit B-1”.

APPROVED, AND ADOPTED by the Planning Commission of the City of Duarte at a regular meeting held on the 16th day of April 2018.

Paula Watson-Gardner
City of Duarte Planning Commission

ATTEST:

Craig Hensley, Community Development Director

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES } ss.
CITY OF DUARTE

I, Craig Hensley, Community Development Director of the City of Duarte, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Duarte held on April 16, 2018, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Craig Hensley, Community Development Director

EXHIBIT B-1
Conditions of Approval
Site Plan & Design Review Case 17-30
Construction of a New Meditation Temple at 2632 Royal Oaks Drive
(Kwan Yin Temple)

1. This approval is for the construction of a new meditation temple and associated site improvements, as noted on the approved plans on file with the Community Development Department. The construction shall be in substantial compliance with all components of the approved plans.
2. The land use and other operational characteristics of the meditation temple are not included with this approval. This Site Plan and Design Review application shall become effective contingent upon approval of the associated conditional use permit application. In the event the conditional use permit application for the use and operation of the meditation temple is not approved, this site plan and design review approval shall become void.
3. The final tile selection shall be subject to the approval of the Community Development Director prior to installation. The tile shall be designed to accentuate the overall project with a contrasting color in a glazed finish. The size of the tile shall be suitable/proportionate with the approved locations. A precast trim cap shall be included with the tile accent in a complementary or matching color. Details, samples, and plans as necessary shall be provided to the Community Development Department for review.
4. The recessed window depth shall be no less than ten inches on the two pop-out features on the north elevation of the Dining Hall. The final design of all windows, including the depth, style, trim, colors, among others, shall be subject to the approval of the Community Development Director prior to installation. A window plan and schedule with all the necessary details, cut-sections, etc., shall be provided to the Community Development Department for review.
5. Exterior lighting, including freestanding and wall-mounted, shall require final approval from the Planning Division prior to issuance of building permits. Lighting fixtures shall be of high quality and decorative form and shall be designed to prevent offsite glare. A lighting plan with a photometric analysis prepared by licensed engineer or approved equivalent shall be provided to the Planning Division for review and. The lighting plan shall include cut-section drawings, manufacture brochure, illumination levels/lighting distribution, and any additional information as needed. Separate review fees may apply.
6. All elevations of both buildings shall be reviewed and approved by the Planning Division prior to permit issuance. Final review shall include approval of the color palette, placement of colors, and all finished building materials, including but not limited to the type, color, and/or placement of all stucco, trims, cornices, tile, among others. All finished building materials incorporated into the building design shall be of high quality and high durability, and shall take into consideration locations that

may be more vulnerable to damage or potential maintenance concerns.

7. Landscape improvements are not included with this approval. All landscape and irrigation improvements shall require separate review and approval prior to installation to ensure compliance with the landscape and water conservation guidelines outlined in Chapter 19.40 of the Duarte Development Code. Separate review fees may apply.
8. All signs shall require separate approval from Planning Division prior to installation. A detailed sign package with cut sheets shall be provided for review. All signs shall be in compliance with the sign regulations outlined in the Duarte Development Code. Contact the Planning Division for more information.
9. A fence and wall plan shall be submitted to the Planning Division for review prior to installation. Fences/gates shall contain a decorative design using a high-quality material such as wrought-iron. All walls shall be constructed to provide security and separation between adjacent properties. Final approval of the location, height, design etc. of all fences and walls shall be required by the Planning Division.
10. The parking lot shall be constructed in substantial compliance with the approved plans and the requirements of the Duarte Development Code, including parking stall width and depth, aisle depth, and adequate turn-around areas for efficient circulation. A separate parking lot plan shall be submitted to the Public Works Division and Planning Division for review.
11. A separate permit shall be required for closing the driveway approach along Royal Oaks Drive prior to beginning any work. The driveway approach shall be replaced with sidewalk, curb, gutter, in compliance with the City standard to the satisfaction of the Public Works Division. Additional offsite improvements, including but not limited to, sidewalk replacement, curb and gutter repairs, etc. may be included as part of the project scope of work. Separate review fees may apply. Contact the Public Works Division for more information.
12. Prior to the issuance of a permits, the applicant shall submit a Low Impact Development (LID) plan to the Community Development Director for review. The LID plan shall be prepared by a California registered civil engineer, architect, or landscape architect knowledgeable about storm-water management issues, and shall comply with Section 6.15.140 of the Duarte Municipal Code. All LID work must be completed prior to occupancy.
13. A drainage plan and grading plan shall be submitted to the Public Works Division for review prior to beginning any drainage and/or grading activity. The grading plan shall address all grading issues and required improvements on the property. Contact the Public Works Division for more information.
14. Follow the list of Best Management Practices (BMP's) of the National Pollution Discharge Elimination System (NPDES), including recommendations from the City grading inspector.

15. The project shall comply with all the regulations of the R-1 Single Family Residential zone, including the intent and purpose, permitted uses, development standards, and any other applicable sections from the Duarte Development Code and Duarte Municipal Code.
16. The project is considered a level one (1) project, according to Chapter 19.52 (Sustainable Development Practices) of the Duarte Development Code. The project will be reviewed for minimum compliance with the requirements outlined in this chapter, including but not limited to: solar access protection, energy efficient outdoor lighting, landscaping efficiency, etc.
17. This project is subject to the requirements of Chapter 6.10 of the Duarte Municipal Code, Diversion and Demolition Waste. Prior to the issuance of any permits, the applicant shall submit a Construction and Demolition Diversion Plan and required security deposit. Contact the Planning Division for more information.
18. Any revisions to the site plan, elevations, colors, and materials in addition to those listed as conditions of approval, shall be reviewed and approved by the Planning Division prior to installation; such changes may require review and approval from the Architectural Review Board.
19. Mechanical equipment and related ducts, vents and other apparatus, including HVAC, shall be screened from public view. Vents, pipes, caps, hoods, and other roof penetrations that must be installed on the roof shall be painted or finished to match the roof color. Ground mounted equipment shall be shielded from public view by landscaping and/or screen walls, subject to approval from the Planning Division.
20. All utilities for direct service to the project shall be installed underground and concealed from view.
21. Plans and all required plan check fees shall be submitted to the Community Development Department for Building & Safety plan check prior to construction. Approval from Building & Safety shall be obtained prior to the issuance of permits. Construction drawings, including the site plan, elevations, and colors shall be consistent and in substantial compliance with the conceptual approval and any required conditions of the Planning Commission.
22. Prior to issuing permits, any required school fees shall be paid directly to Duarte Unified School District and proof of payment provided to the City. Contact Duarte Unified School District at (626) 599-5000 for more information.
23. Any and all correction notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant, and all agents thereof.
24. Building permits for this project must be issued within one-year from the date of final approval and may be extended in compliance with Section 19.130.070 of the Duarte Development Code.

25. The property owner, contractor, and all representatives shall comply with applicable City noise ordinances. Construction activities, deliveries and haul-off will only be permitted from 7:00 a.m. to 7:00 p.m., Monday through Saturday. No construction related idling of engines or other disturbances shall occur outside of noted work hours.
26. A final inspection shall be made by the Planning Division prior to final sign-off of any building permits to ensure that all conditions have been met.
27. The decision of the Planning Commission may be appealed to the City Council within 15 days from the date of approval. Said appeal must be in writing and filed with the Community Development Department (DDC 19.144). The written appeal shall include reasons for the appeal and the applicable fee.
28. That by acceptance of the approval of the project by the City, the applicant shall defend, indemnify and hold harmless the City of Duarte and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers and employees to challenge, set aside, void or annul the approval of the project or from any other action pertaining to this application or the granting of approval which may be brought within the time period provided for such actions or challenges under applicable law.

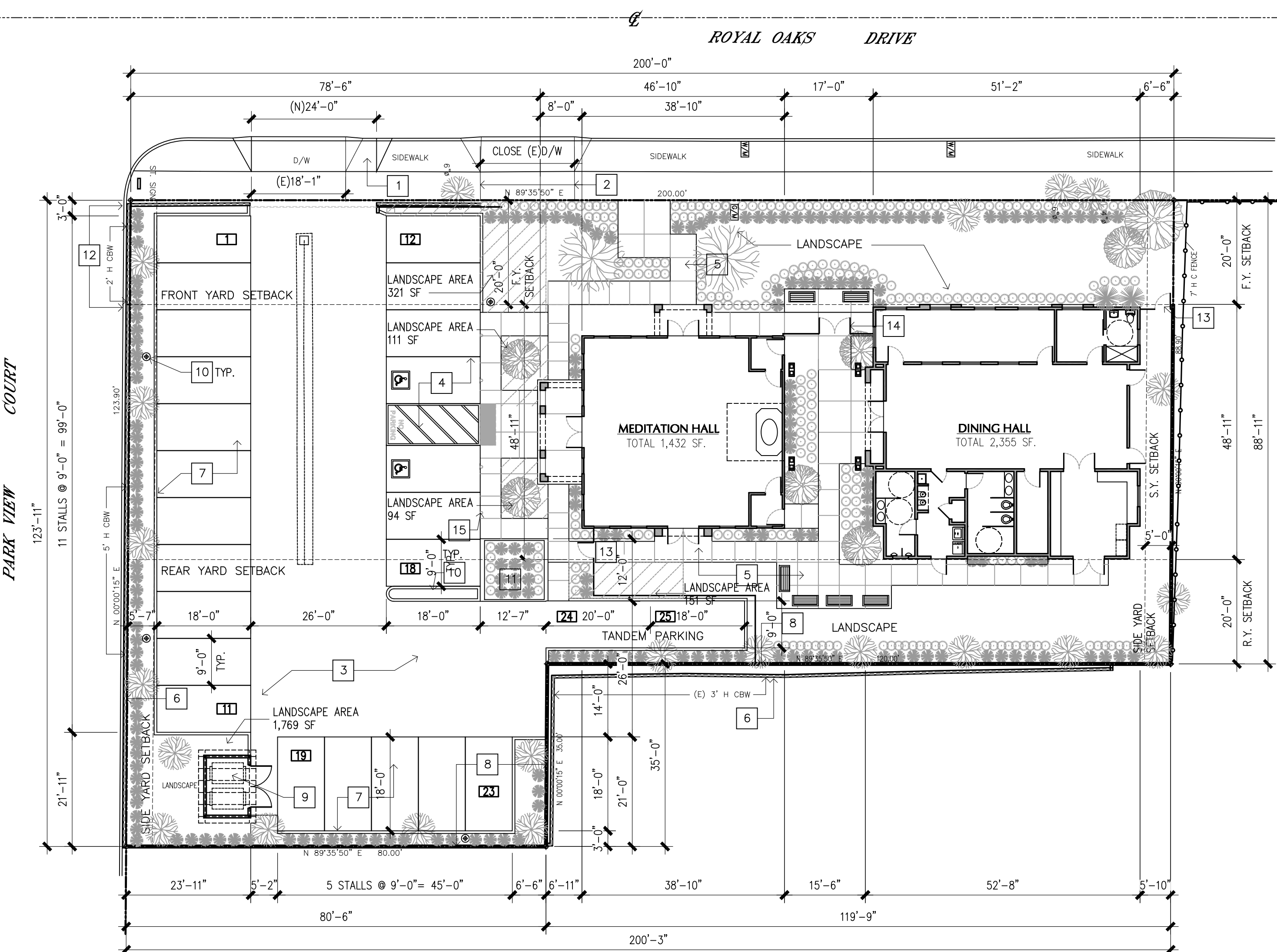
Exhibit C

L	AND	FLR.	FLOOR	Q.T.	QUARRY TILE
1	ANGLE	FLASH.	FLASHING		
2	AT	FLOOR.	FLUORESCENT	R.	RISER
3	CENTERLINE	F.O.C.	FACE OF CONCRETE	R.	RADIUS
4	DIAMETER OR ROUND	F.O.F.	FACE OF FINISH	R.D.	ROOF DRAIN
5	POUR OR NUMBER	PPRF.	FIREPROOF	REF.	REFERENCE
6	EVADING	F.S.	FULL SIZE	REFR.	REFRIGERATOR
7	(N)	F.T.	FOOT OR FEET	RGTR.	REGISTER
8	NEW	FTG.	FOOTING	REINF.	REINFORCED
ABV.	ABOVE	FURR.	FURRING	REQ.	REQUIRED
ACQUS.	ACQUISIT.	FUT.	FUTURE	RESIL.	RESILIENT
A.D.	AREA DRAIN			RESIL.	RESIL.
ADJ.	ADJUSTABLE	GA.	GAUGE	R.O.	ROUGH OPENING
AGGR.	AGGREGATE	GALV.	GALVANIZED	RWD.	REDWOOD
AL.	ALUMINUM	G.B.	GRAB BAR	R.W.L.	RAIN WATER LADDER
APPROX.	APPROXIMATELY	G.L.	GLASS		
ARCH.	ARCHITECTURAL	G.D.	GROUND	S.	SOUTH
ASPH.	ASPHALT	GR.	GRADE	S.C.D.	SOLID CORE
		GYP.	GYPSUM	S.C.D.	SEAT COVER DISPENSER
BD.	BOARD	H.B.	HUGE BIBB	SCHED.	SCHEDULE
BITUM.	BITUMINOUS	H.C.	HOLLOW CORE	S.D.	SPOA DISPENSER
BLDG.	BUILDING	HDWD.	HARDWOOD	SECT.	SECTION
BLK.	BLACK	HW.	HARDWARE	SH	SHELF
BLKG.	BLOCKING	H.W.	HOLLOW METAL	SHR.	SHOWER
BM.	BUMPER	HORIZ.	HORIZONTAL	SHI.	SHEET
BTM.	BOTTOM	HR.	HOUR	SHR.	SHIMLAR
B.U.	BUILT UP	HT.	HEIGHT	S.N.D.	SANITARY NAPKIN DISPENSER
CAB.	CABINET	I.D.	IND. DIAMETER (DIM.)	S.N.R.	SANITARY NAPKIN RECEPTACLE
C.B.	CATCH BASIN	I.	INSULATION	SPEC.	SPECIFICATION
C.E.	CEMENT	INSUL.	INTERIOR	S.Q.	SQUARE
CER.	CERAMIC	INT.	INTERIOR	S.S.TL.	STAINLESS STEEL
CL.	CAST IRON	JAN.	JANITOR	S.S.K.	SERVICE SINK
C.G.	CORNER GUARD	JT.	JOINT	STA.	STATION
CLG.	CEILING	KIT.	KITCHEN	STD.	STANDARD
CLKG.	CAULKING			STL.	STEEL
CLO.	CLOSET			STOR.	STORAGE
CLR.	CLEAR	LAB.	LABORATORY	STR.	STRUCTURAL
C.O.	CASED OPENING	LAM.	LAMINATE	SUSP.	SUSPENDED
COL.	COLUMN	LAV.	LAVATORY	SYM.	SYMMETRICAL
CONC.	CONCRETE	LKR.	LOCKER	TDR.	TREAD
CONN.	CONNECTION	LT.	LIGHT	T.B.	TOWEL BAR
CONSTR.	CONSTRUCTION	L.T.	LIGHT	T.C.	TOP OF CURB
CONT.	CONTINUOUS	MATL.	MATERIAL	T.	TELEPHONE
CORR.	CORRIDOR	MAX.	MAXIMUM	TER.	TERRAZZO
CTSK.	COUNTERSUNK	M.C.	MEDICINE CABINET	T & G.	TONGUE AND GROOVE
CONTR.	CENTER	M.E.	MECHANICAL	TH.	THICK
		MECH.	MECHANICAL	T.P.	TOP OF PAVEMENT
		MEMB.	MEMBRANE	T.P.D.	TOILET PAPER DISPENSER
DBL.	DOUBLE	MTL.	METAL	T.V.	TELEVISION
DEPT.	DEPARTMENT	MFR.	MANUFACTURER	T.W.	TOP OF WALL
D.F.	DRINKING FOUNTAIN	MH.	MANHOLE	TYP.	TYPICAL
DET.	DETAIL	MN.	MINIMUM		
DIA.	DIAMETER	MR.	MIRROR		
DIM.	DIMENSION	MISC.	MISCELLANEOUS	UNF.	UNFINISHED
DISP.	DISPENSER	M.O.	MASONRY OPENING	U.O.N.	UNLESS OTHERWISE NOTED
LN.	DOWN	MTD.	MOUNTED	URNAL	URNAL
D.O.	DOOR OPENING	MUL.	MULLION	VERT.	VERTICAL
DOOR	DOOR	N.	NORTH	VEST.	VESTIBULE
DWR.	DRAWER	N.C.	NOT IN CONTRACT		
DS.	DOWN STOP	N.O.	NOT A NUMBER	W.	WEST
D.S.P.	DRY STANDPIPE	N.O.R.	NOT A NUMBER	W/	WITH
DWG.	DRAWING	NOM.	NOMINAL	W.C.	WATER CLOSET
E.	EAST	N.T.S.	NOT TO SCALE	WD.	WOOD
E.A.	EACH	O.	OVER	W/O	WITHOUT
E.J.	EXPANSION JOINT	O.A.	OVERALL	WP.	WATERPROOF
EL.	ELECTRIC	OBS.	OBSCURE	WSC.	WANSOFT
ELEV.	ELEVATOR	OC.	ON CENTER	WGT.	WEIGHT
EMER.	EMERGENCY	O.D.	OUTSIDE DIAMETER (DIM.)	T.O.P.	TOP OF PARAPET
ENCL.	ENCLOSURE	OFF.	OFFICE	C.T.	CERAMIC TILE
E.P.	ELECTRIC PANELBOARD	OPNG.	OPENING	F.O.P.	FACE OF PANEL
E.Q.	EQUAL	OPP.	OPPOSITE	S.F.	SQUARE FEET
EQPT.	EQUIPMENT	PRCST.	PRE-CAST	F.O.S.	FACE OF STUFS
E.W.C.	ELECTRIC WATER COOLER	PL.	PLATE	F.O.D.	FLOW DRAIN
EXPOSED	EXPOSED	PLAM.	PLASTIC LAMINATE	T.O.S.	TOP OF SHEATHING
EXP.	EXPANSION	PLAS.	PLASTER		
EXT.	EXTERIOR	P.WYD.	PLYWOOD		
F.A.	FIRE ALARM	PAIR	PAIR		
F.B.	FLAT BAR	PT.	POINT		
F.D.	FLOOR DRAIN	PTD.	PAPER TOWEL DISPENSER		
FEN.	FOUNDATION	P.T.D./R	COMBINATION PAPER TOWEL DISPENSER AND RECEPTACLE		
F.F.	FIRE EXTINGUISHER				
F.E.C.	FIRE EXTINGUISHER CABINET	PTN.	PARTITION		
F.H.C.	FIRE HOSE CABINET	P.T.R.	PAPER RECEPTACLE		
FIN.	FINISH				

	COLUMN REFERENCE GRID BUBBLES		WALL TYPES
	REFERENCE NORTH		REFERENCE NOTES
	REVISION		EXIT SIGNS
	ROOM SYMBOL REFER TO FINISH SCHEDULE		WORKING POINT
	DOOR SYMBOL REFER TO DOOR SCHEDULE		EARTH
	WINDOW SYMBOL REFER TO WINDOW SCHEDULE		CONCRETE (LARGE SCALE)
	REFERENCE NOTES SYMBOL		MASONRY
	SECTION CUT		METAL
	DETAIL REFERENCE		BATT INSULATION
	ELEVATIONS		RIGID INSULATION
			PLYWOOD
			CERAMIC TILE
			BLOCKING OR SHIMMING
			CONTINUOUS BLOCKING
			CONC. OR PLAST. (ELEVATION)
			GRAVEL FILL
			GLASS
			GLASS BLOCK
			GRANITE
			1 HR. FIRE RATED WALL



SCALE	1
N.T.S.	



SCALE	2
1/16" = 1'-0"	

A R C H I T E C T U R E	
A1.1	PROJECT DATA
T-1	EXISTING SURVEY
A2.1	FLOOR & ROOF PLANS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
E1.1	PHOTOMETRIC SITE PLAN
L-1	LANDSCAPE PLAN
L-1A	LANDSCAPE PLANTS

NO. PROJECT ADDRESS:		2632 ROYAL OAKS DR, DUARTE, CA			
1.0	PROJECT DESCRIPTION:	1-STORY MEDITATION TEMPLE BUILDING			
1.1	ZONE:	R-1 (CUP IS REQUIRED)			
1.2	CONSTRUCTION TYPE:	TYPE V-B	SPRINKLERED		
1.3	OCCUPANCY:	A-3 / B			
1.4	LOT AREA (SF):	20,597			
1.5	NO. OF STORY	1-STORY			
1.6	MAX. HEIGHT	35'-0"			
			MAX. ALLOW	PROPOSED	%
1.7	MAX. LOT COVERAGE (SF)	40% (1-STORY)	8,238.8	4,089.0	19.85%
		35% (2-STORY)	7,209.0	N/A	N/A
1.8	MAX. F.A.R.				
1.9	SETBACKS	FRONT YARD	SIDE YARD	REAR YARD (1-STORY)	REAR YARD (2-STORY)
		20'-0"	5'-0"	10'-0"	20'-0"
2.0	BUILDING AREA	HABITABLE SPACES (SF)	COVERED PORCH (SF)	TOTAL LOT COVERAGE (SF)	EXISTING BUILDING AREA (SF)
2.1	TOTAL MEDITATION HALL	1,432	235		
2.2	TOTAL DINING HALL	2,355	67		
2.3	TOTAL BUILDING AREA	3,787	302	4,089	3438*
	*TO BE DEMOLISH				
2.4	MEDITATION HALL	1,344			
2.5	DINING HALL / MULTI FUNCTION	967			
2.6	TOTAL ASSEMBLY AREA	2,311			

B&K
B&K HOME, INC
designer . planner . engineer

residential
commercial
restaurant

855 Commercial Ave, Suite C,
San Gabriel, Ca. 91776
626 202-9574
nw.bnkhomeinc@gmail.com

Project:
KWAN YIN
MEDITATION
TEMPLE

7632 ROYAL OAKS DR.,
DUARTE, CA 91010

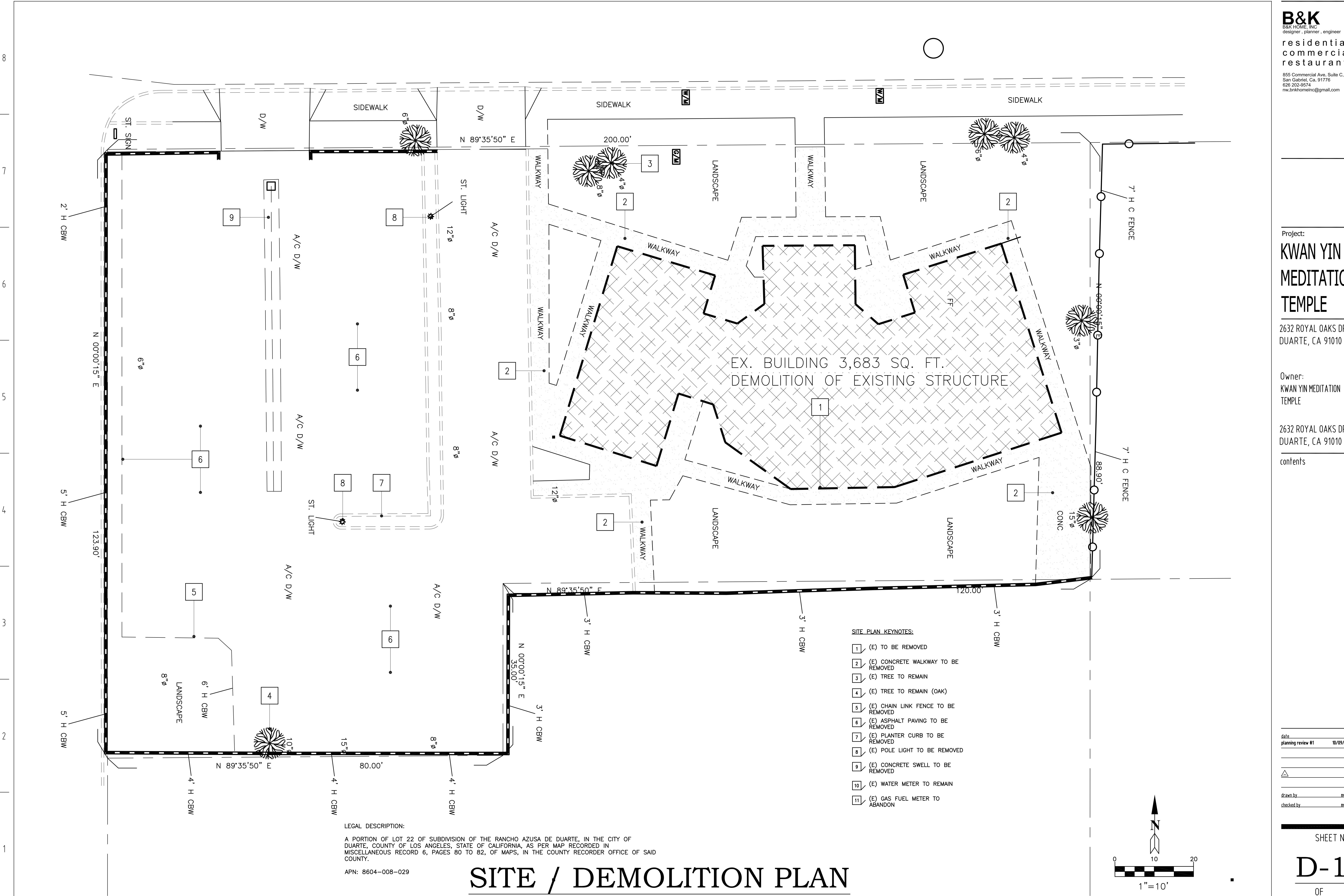
Owner:
KWAN YIN MEDITATION
TEMPLE

7632 ROYAL OAKS DR.,
DUARTE, CA 91010

PROJECT DATA

date	
planning review #1	10/19/2017
planning review #2nd, 3rd	1/28/2018
rev. arb comment	3/20/2018
	
drawn by	nw/ic
checked by	nw/ic

SHEET NO:
A1.1
OF



B&K
B&K HOME, INC.
designer . planner . engineer
**residential
commercial
restaurant**
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Project:
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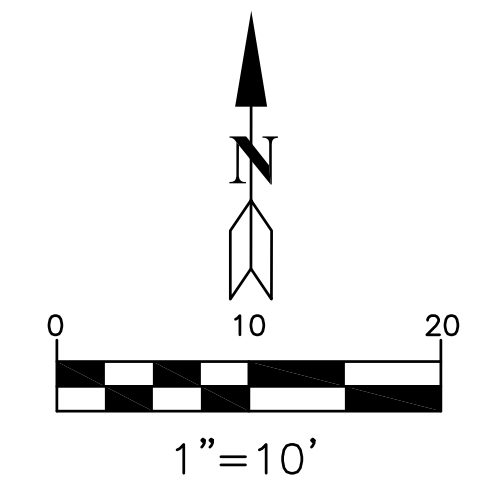
Owner:
KWAN YIN MEDITATION
TEMPLE

2632 ROYAL OAKS DR.,
DUARTE, CA 91010

contents

- SITE PLAN KEYNOTES:**
- 1 (E) TO BE REMOVED
 - 2 (E) CONCRETE WALKWAY TO BE REMOVED
 - 3 (E) TREE TO REMAIN
 - 4 (E) TREE TO REMAIN (OAK)
 - 5 (E) CHAIN LINK FENCE TO BE REMOVED
 - 6 (E) ASPHALT PAVING TO BE REMOVED
 - 7 (E) PLANTER CURB TO BE REMOVED
 - 8 (E) POLE LIGHT TO BE REMOVED
 - 9 (E) CONCRETE SWELL TO BE REMOVED
 - 10 (E) WATER METER TO REMAIN
 - 11 (E) GAS FUEL METER TO ABANDON

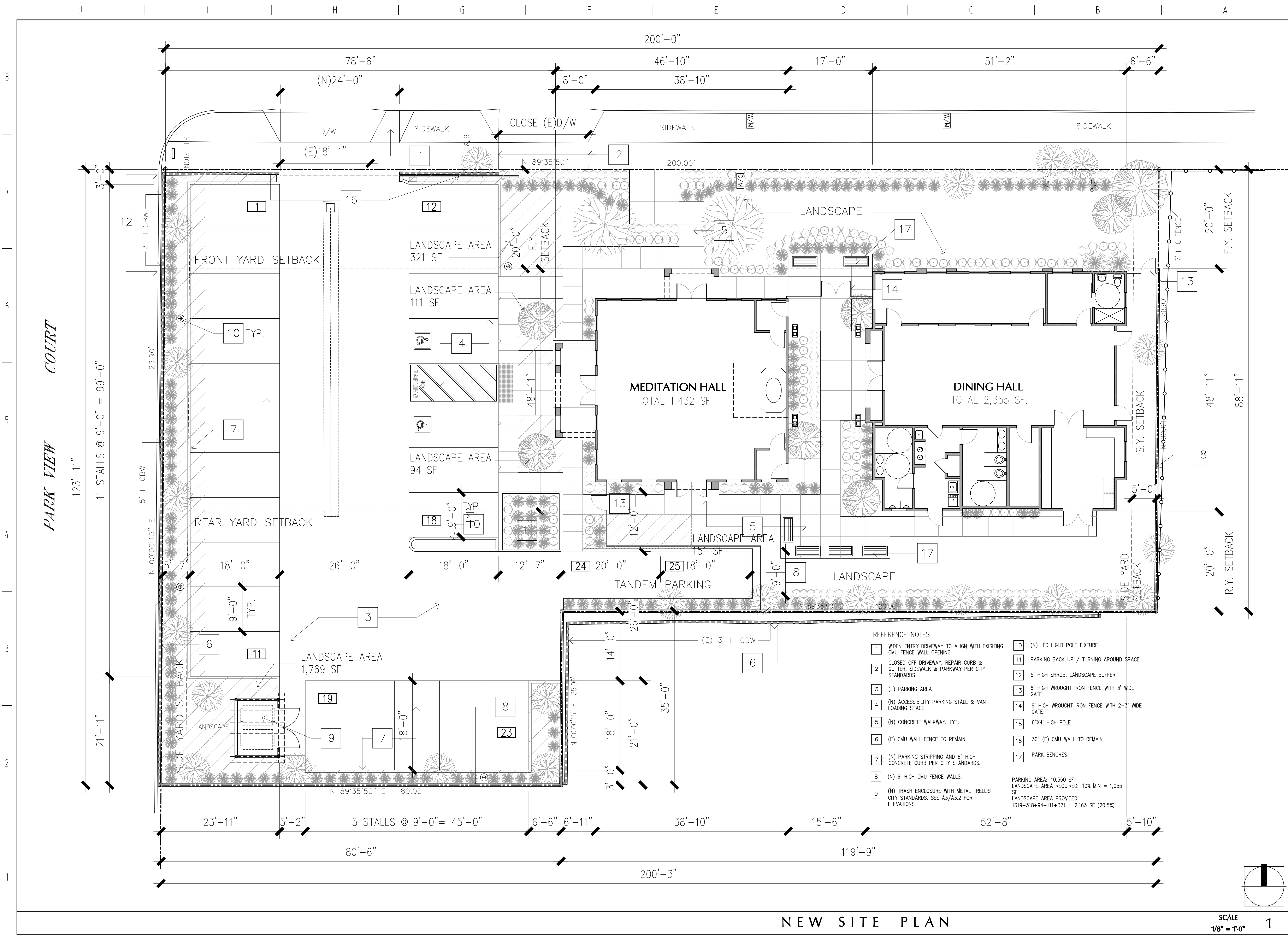
LEGAL DESCRIPTION:
A PORTION OF LOT 22 OF SUBDIVISION OF THE RANCHO AZUSA DE DUARTE, IN THE CITY OF DUARTE, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN MISCELLANEOUS RECORD 6, PAGES 80 TO 82, OF MAPS, IN THE COUNTY RECORDER OFFICE OF SAID COUNTY.
APN: 8604-008-029



date: _____
planning review #1: _____ 10/09/201

drawn by: _____ nw/c
checked by: _____ nw/c

SHEET NO.
D-1
OF



B&K

B&K HOME, INC.

designer, planner, engineer

residential

commercial

restaurant

855 Commercial Ave, Suite C,

San Gabriel, Ca, 91776

626 202-8574

rw.bkhomeinc@gmail.com

Project:

KWAN YIN

MEDITATION

TEMPLE

2632 ROYAL OAKS DR.,

DUARTE, CA 91010

Owner:

KWAN YIN MEDITATION

TEMPLE

2632 ROYAL OAKS DR.,

DUARTE, CA 91010

contents

PROJECT

DATA

date

planning review #1

10/19/2017

planning review #2nd 3rd

1/28/2018

rev. arb comment

3/20/2018

drawn by

rw/jc

checked by

rw/jc

SCALE

1/8" = 1'-0"

1

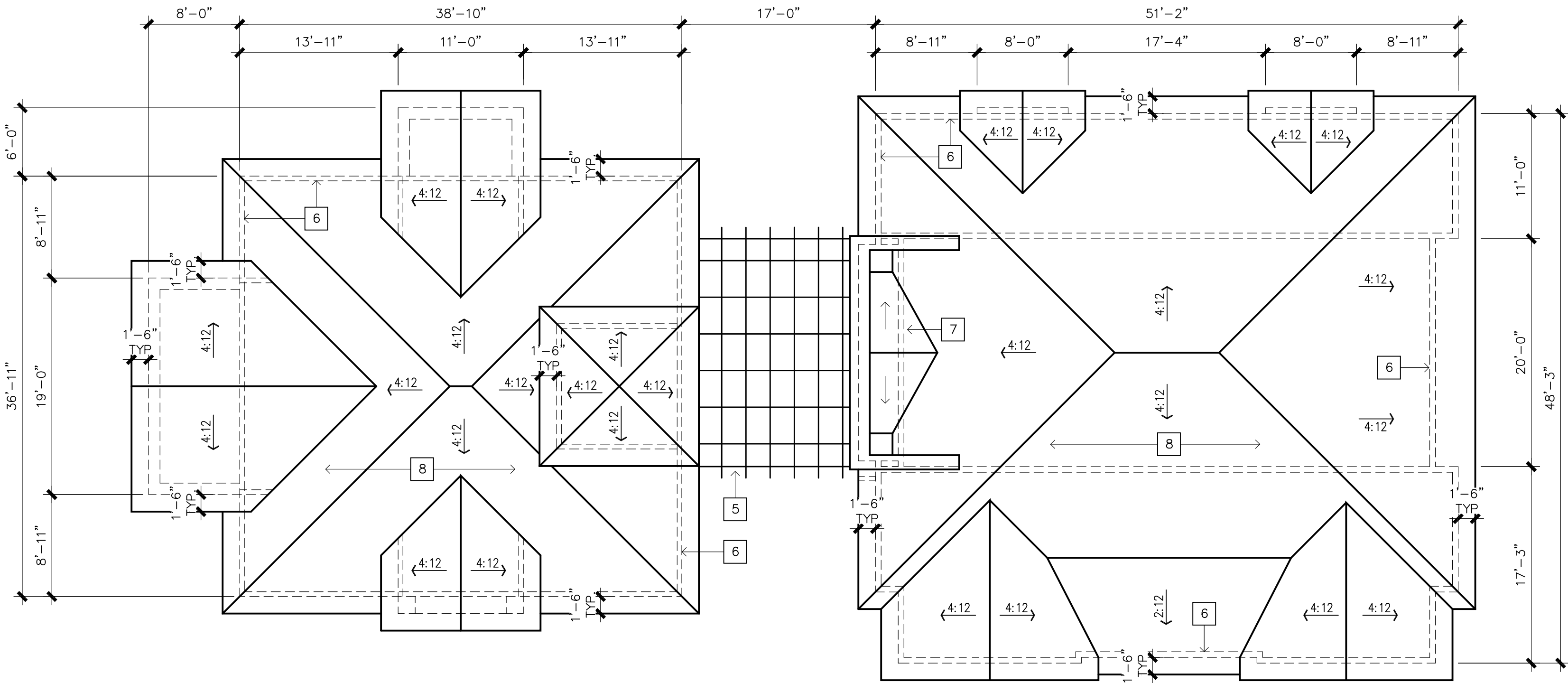
SHEET NO:

A1.1A

OF

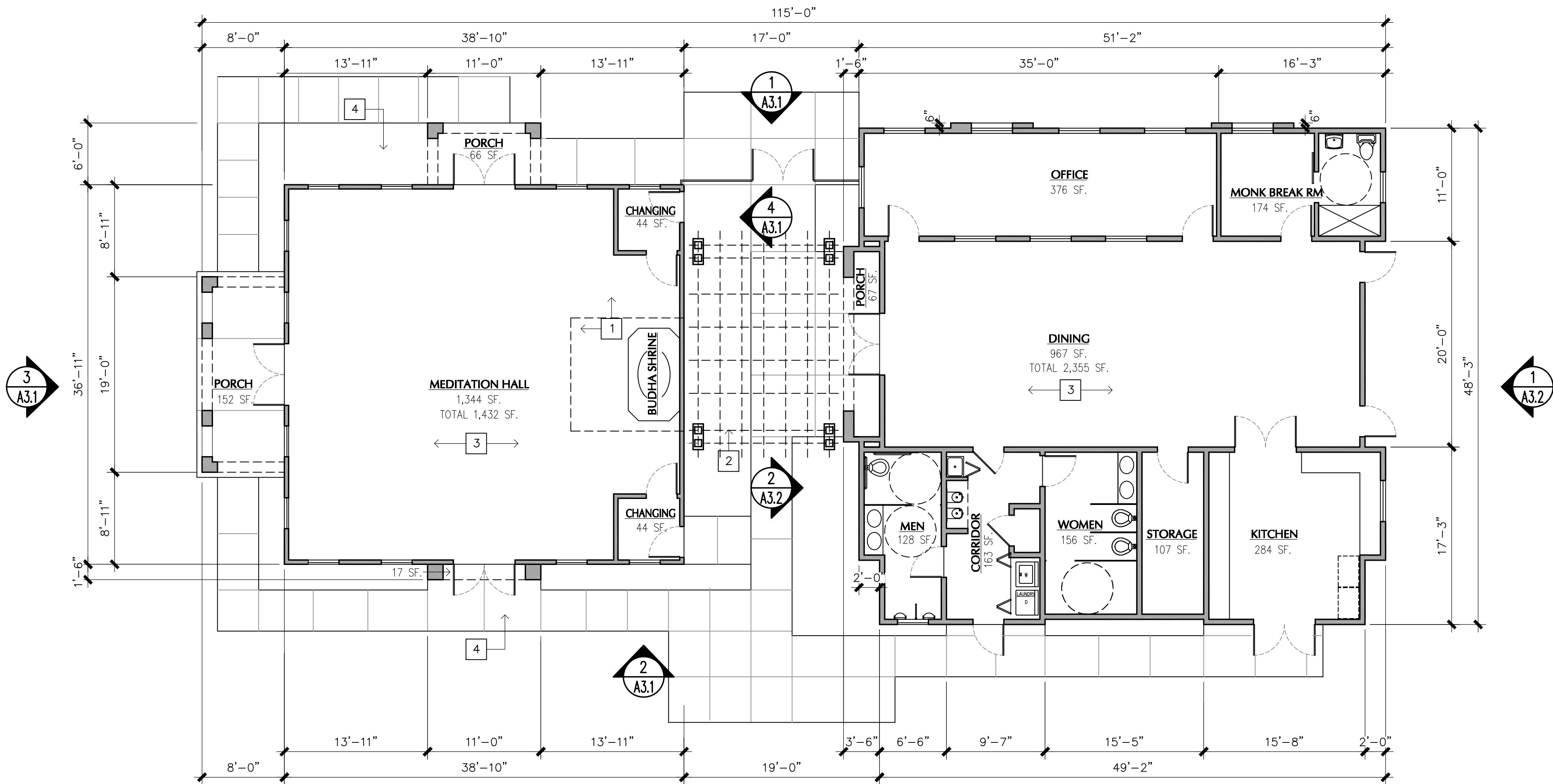
REFERENCE NOTES

- 1 LINE OF CLERESTORY ABOVE
- 2 TRELLIS ABOVE
- 3 CONCRETE SLAB ON GRADE TYP.
- 4 CONCRETE WALKWAY TYP.
- 5 WOOD TRELLIS
- 6 LINE OF WALL BELOW, TYP.
- 7 ROOF CRICKET
- 8 CONCRETE TILE ROOFING
EAGLE ROOFING : CAPISTRANO - 3814-SAN
PABLO BLEND



ROOF PLAN

SCALE
1/8" = 1'-0" 1



FLOOR PLAN

SCALE
1/8" = 1'-0" 2

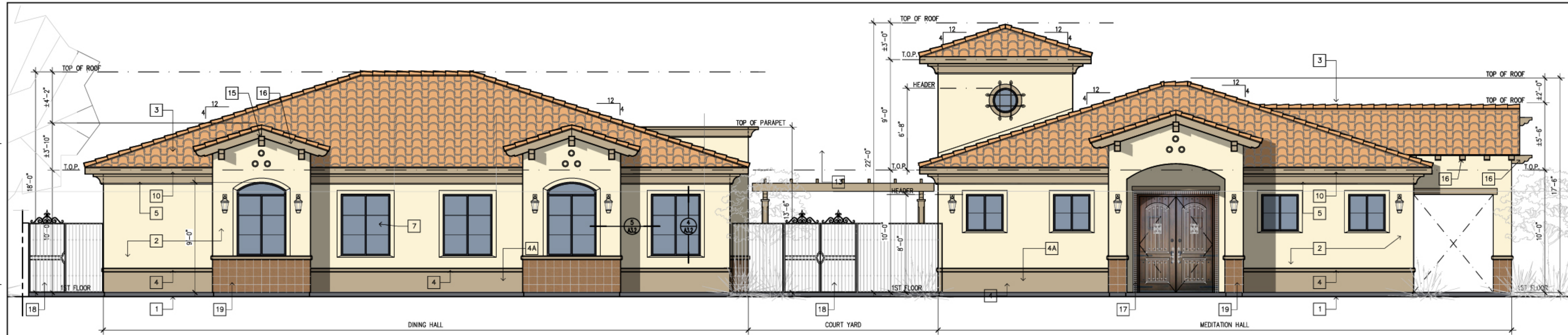
Project:
**KWAN YIN
MEDITATION
TEMPLE**

2632 ROYAL OAKS DR.,
DUARTE, CA 91010

Owner:
KWAN YIN MEDITATION
TEMPLE

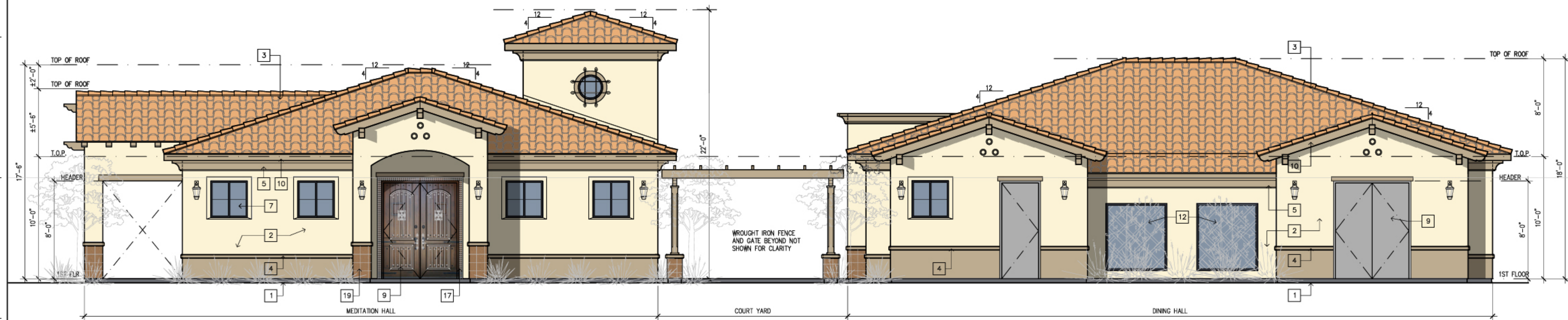
2632 ROYAL OAKS DR.,
DUARTE, CA 91010

contents
**EXTERIOR
ELEVATIONS**



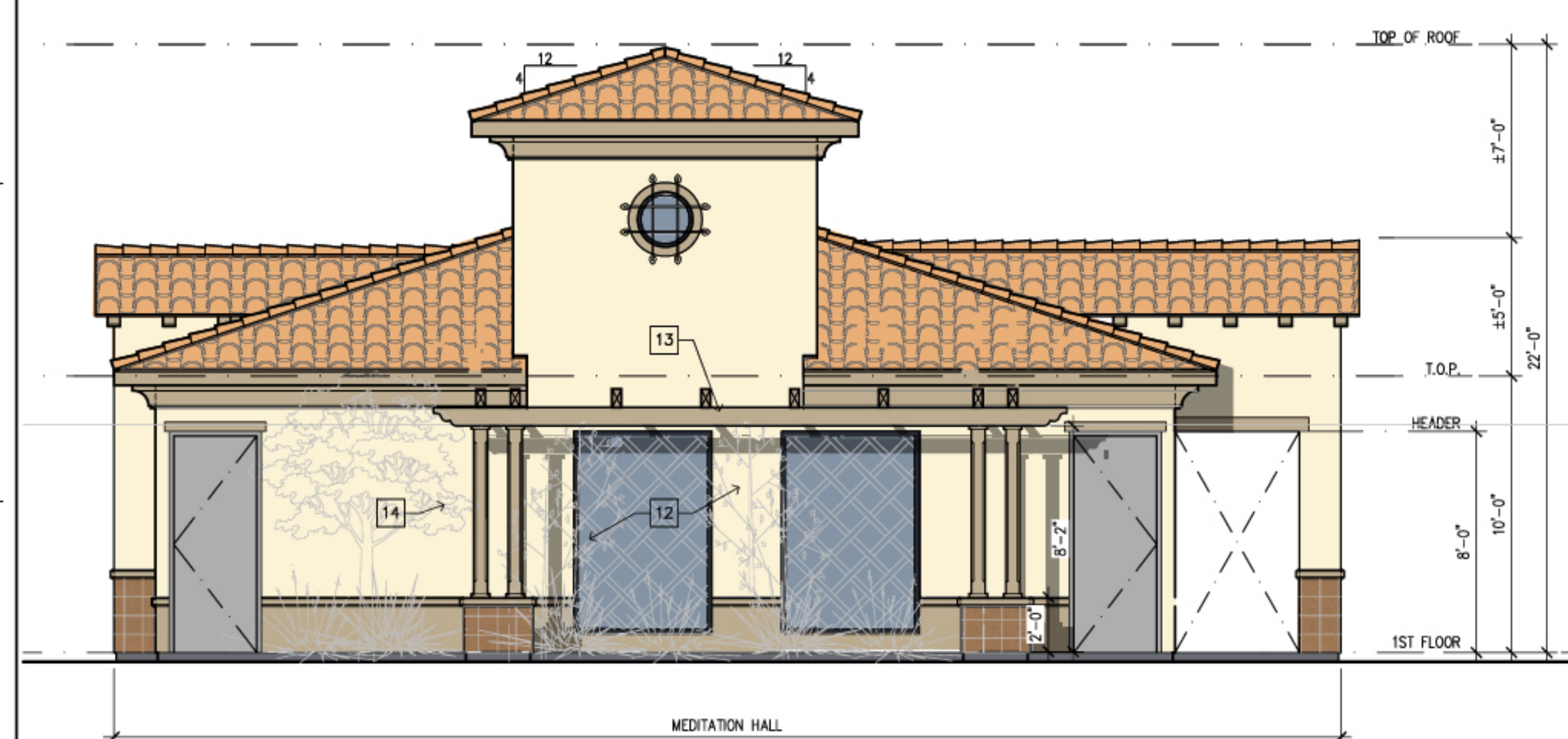
FRONT / NORTH ELEVATION

SCALE
1/4" = 1'-0" 1



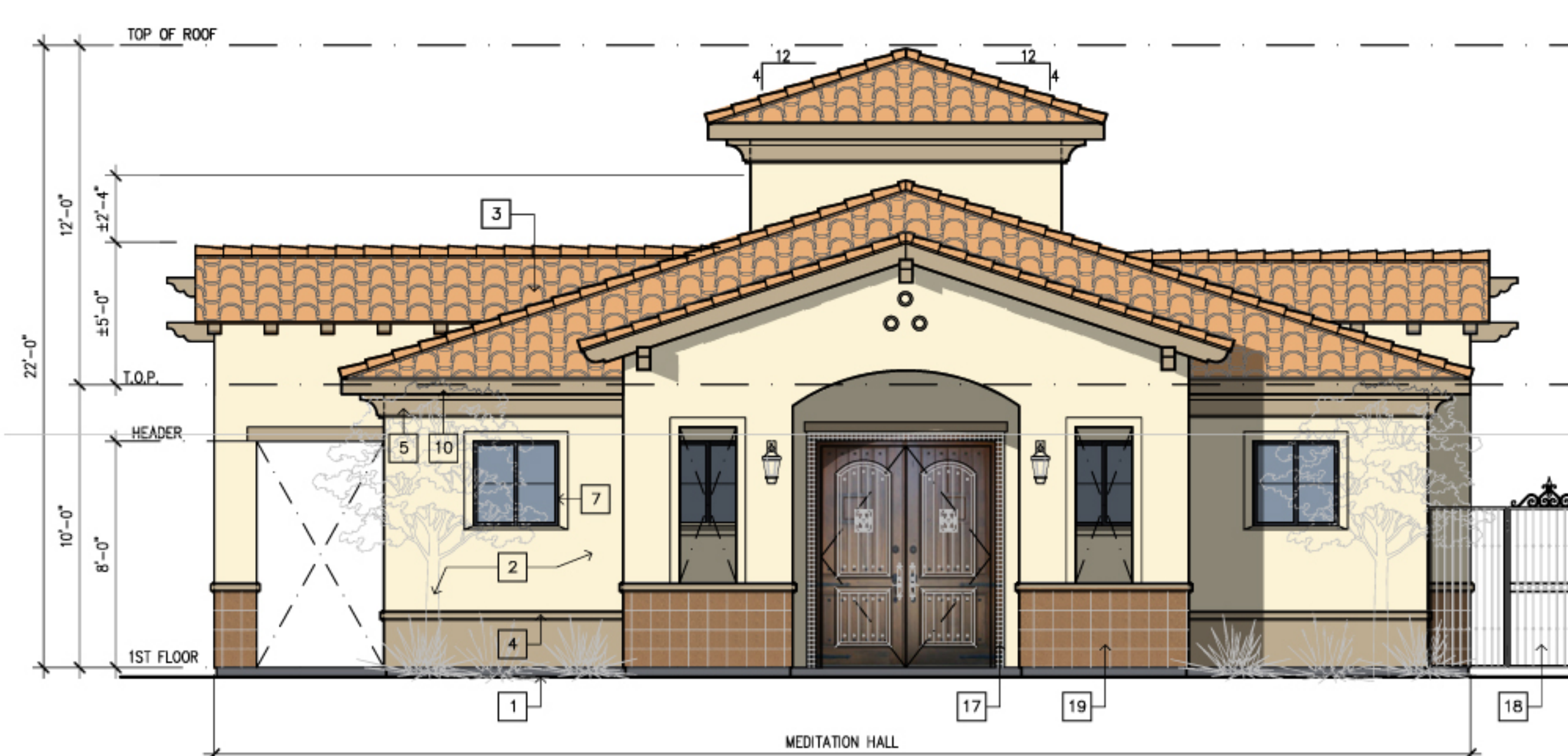
SOUTH ELEVATION

SCALE
1/4" = 1'-0" 2



MEDITATION HALL EAST ELEVATION

SCALE
1/4" = 1'-0" 4



MEDITATION HALL WEST ELEVATION

SCALE
1/4" = 1'-0" 3

REFERENCE NOTES

- 1 FINISH GRADE
- 2 EXTERIOR STUCCO, SMOOTH FINISH, LA HABRA STUCCO, COLOR # 86 SANDSTONE
- 3 CONCRETE TILE ROOFING
EAGLE ROOFING : CAPISTRANO - 3814-SAN PABLO BLEND
- 4 PRECAST WALL TRIM BAND
- 5 STUCCO COVERED FOAM CORNICE
- 6 EXTERIOR LIGHT FIXTURES
- 7 VINYL WINDOW BY MILGARD: TUACANY SERIES
COLOR: ESPRESSO
- 8 WOOD ENTRY DOOR
- 9 WOOD DOOR
- 10 2X6 WOOD FASCIA
- 11 PRECAST DOOR TRIM
- 12 METAL LATTICE
- 13 WOOD TRELLIS
- 14 WOOD POST
- 15 6X10 WOOD OUTRIGGERS
- 16 4X8 RAFTER TAILS, SEE DET 6/A3.2
- 17 NOT USE
- 18 6" WROUGHT IRON HIGH GATE & FENCE
- 19 8X8 TERRAZZOTA TILES BASE

date
planning review #1 10/19/2017
planning review #2nd. 3rd. 1/28/2018

drawn by nw/c
checked by nw/c

Project:

**KWAN YIN
MEDITATION
TEMPLE**

2632 ROYAL OAKS DR.,
DUARTE, CA 91010

Owner:
KWAN YIN MEDITATION
TEMPLE

2632 ROYAL OAKS DR.,
DUARTE, CA 91010

contents

**EXTERIOR
ELEVATIONS**

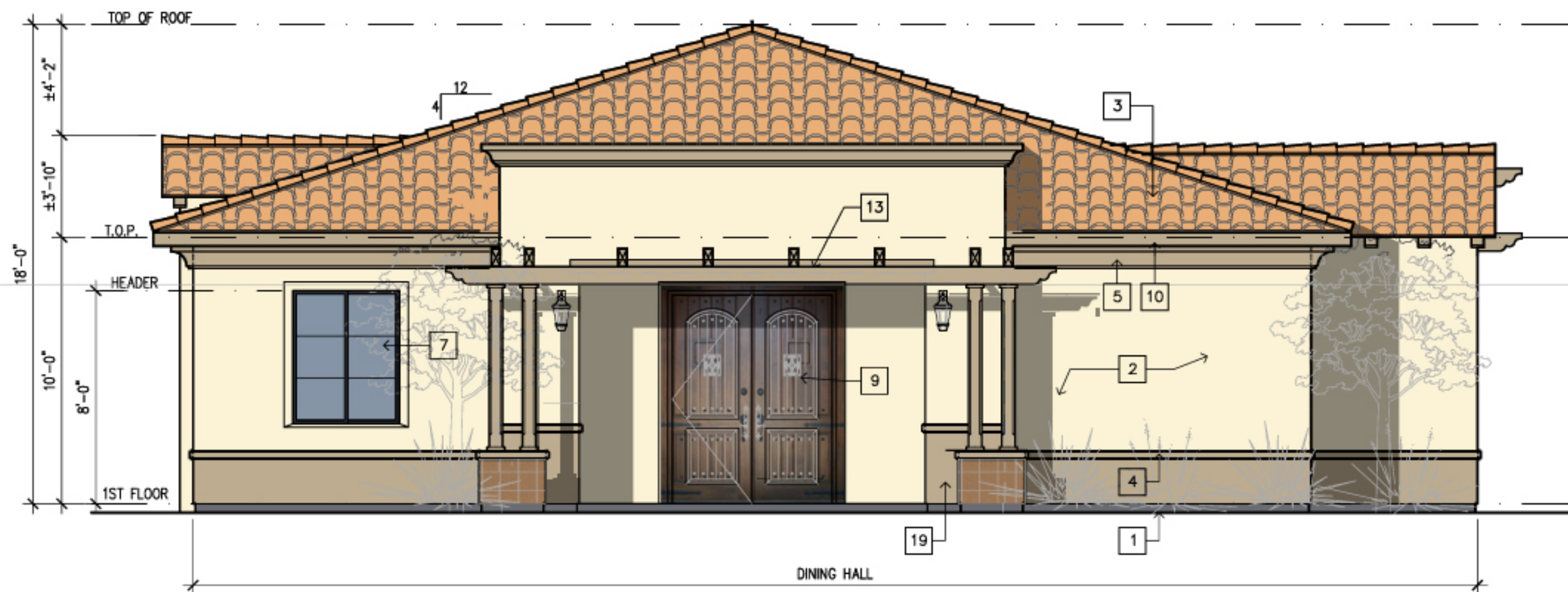
date
planning review #1 10/19/2017
planning review #2nd 3rd 1/28/2018

drawn by nw/c
checked by nw/c

SHEET NO.

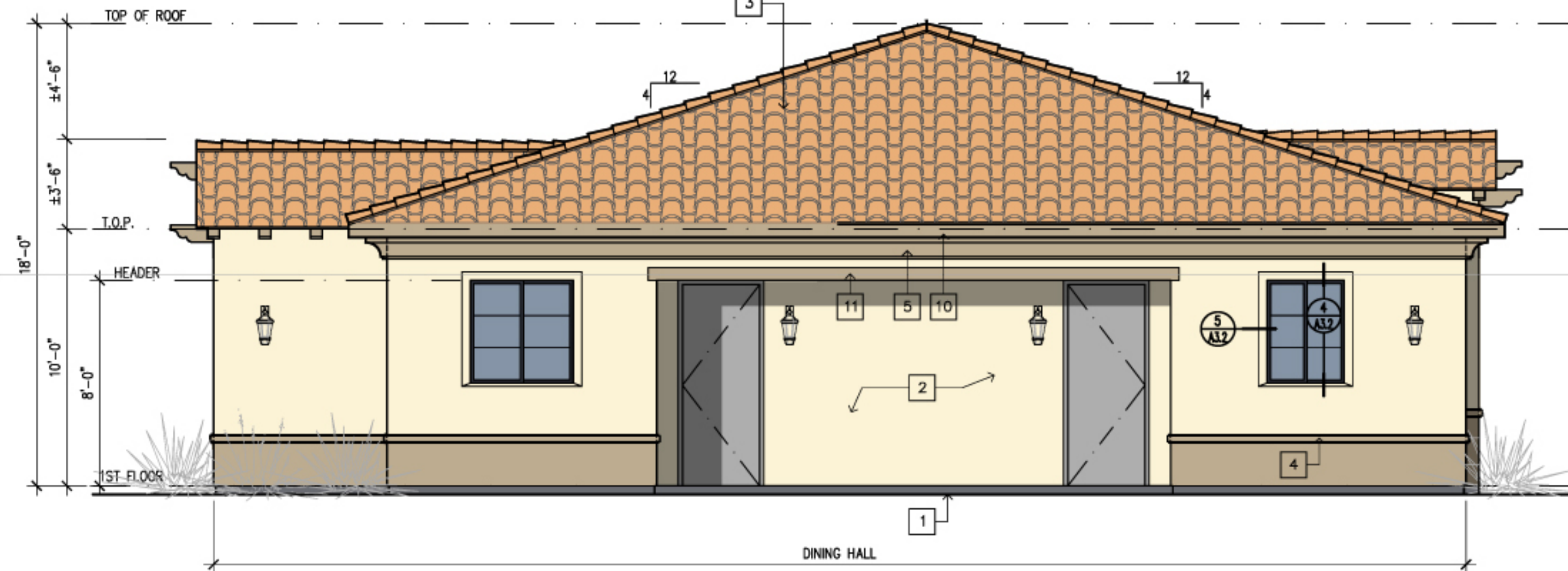
A3.2

OF



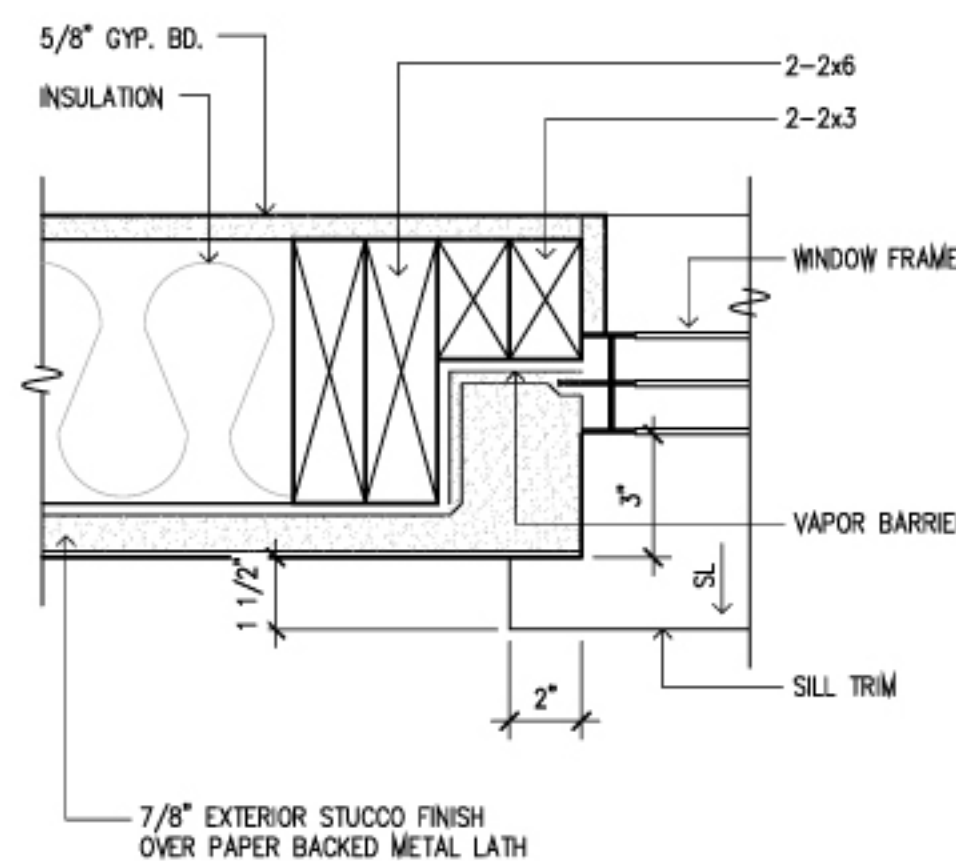
DINING HALL EAST ELEVATION

SCALE
1/4" = 1'-0" 2



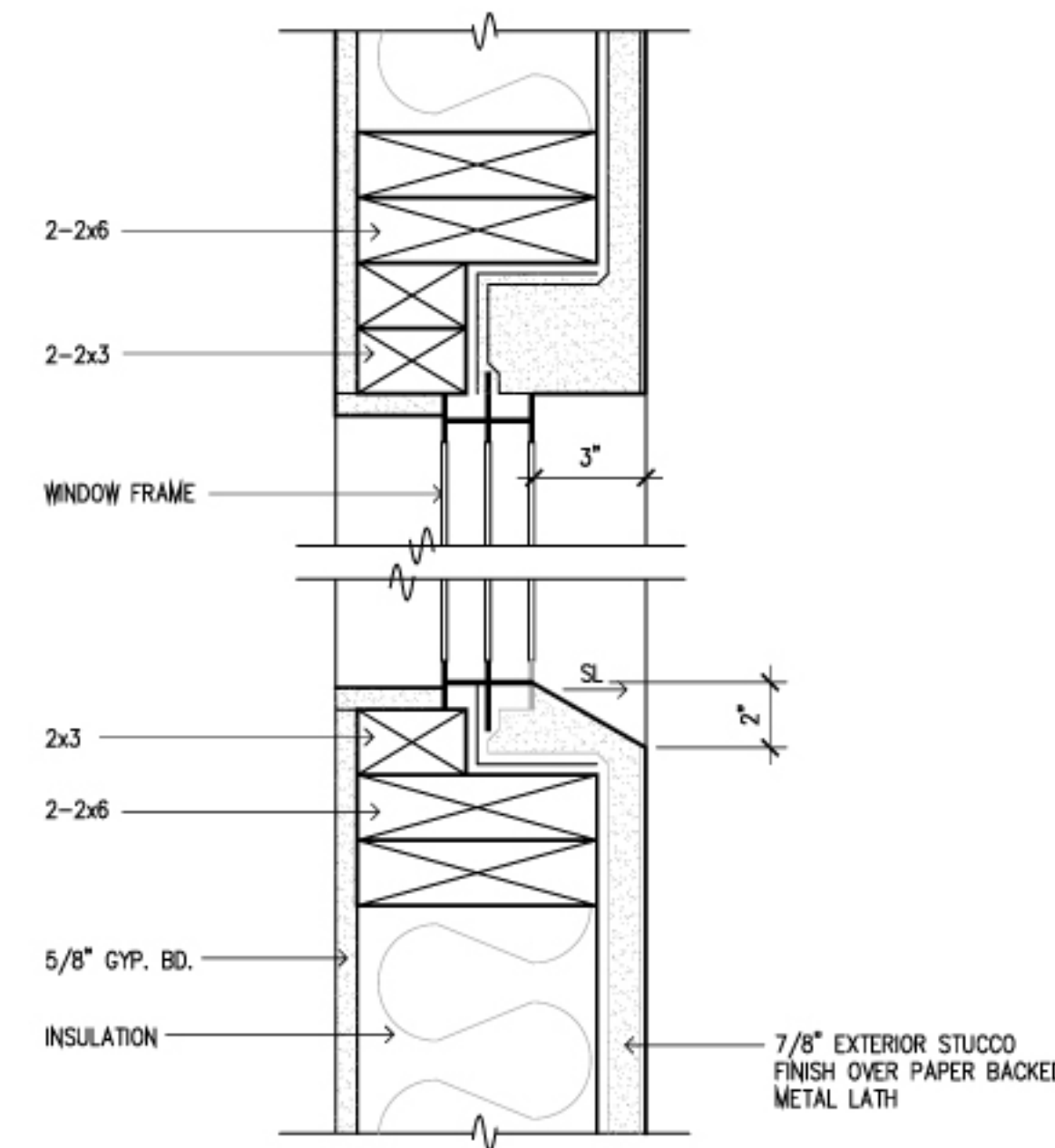
DINING HALL WEST ELEVATION

SCALE
1/4" = 1'-0" 1



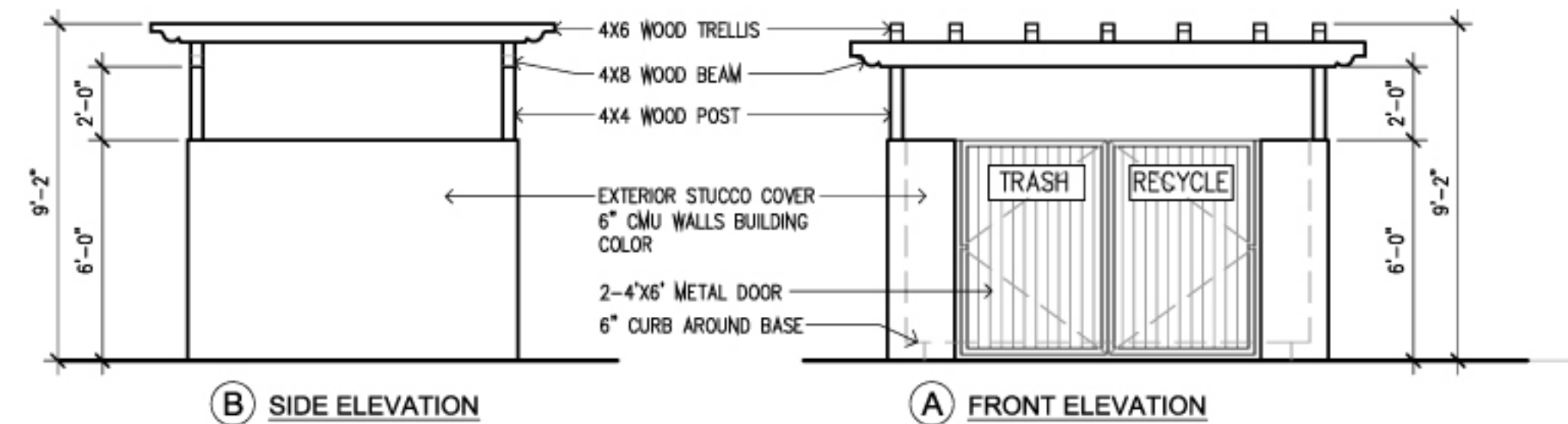
WINDOW JAMB

SCALE
3/8" = 1'-0" 5



WINDOW HEADER / SILL

SCALE
3/8" = 1'-0" 4

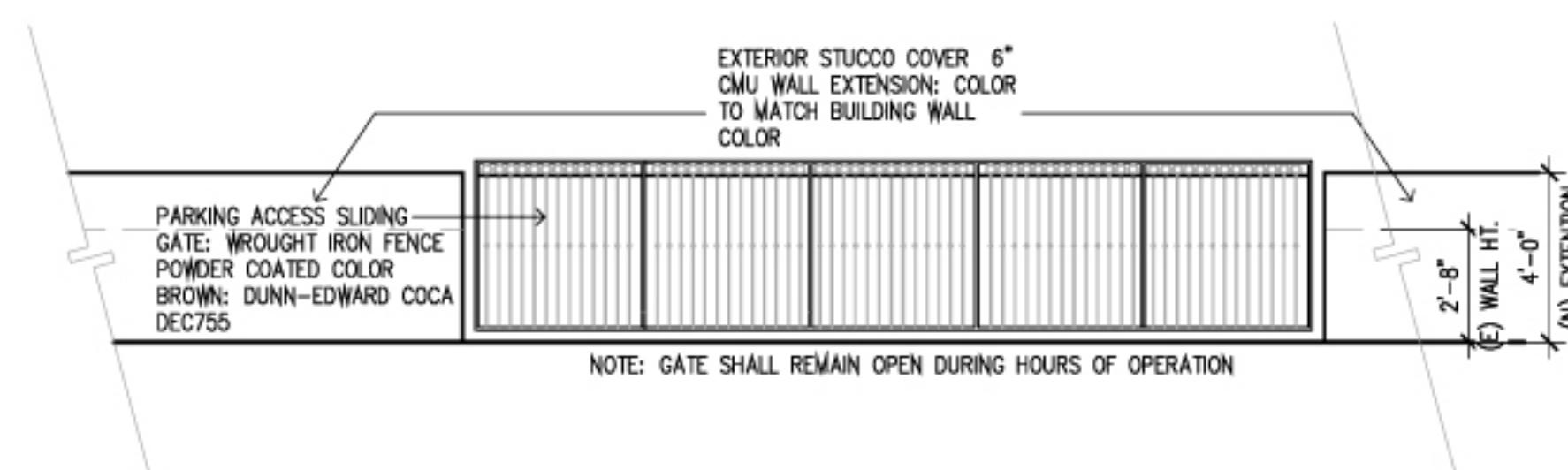


TRASH ENCLOSURE ELEVATION

SCALE
1/4" = 1'-0" 3

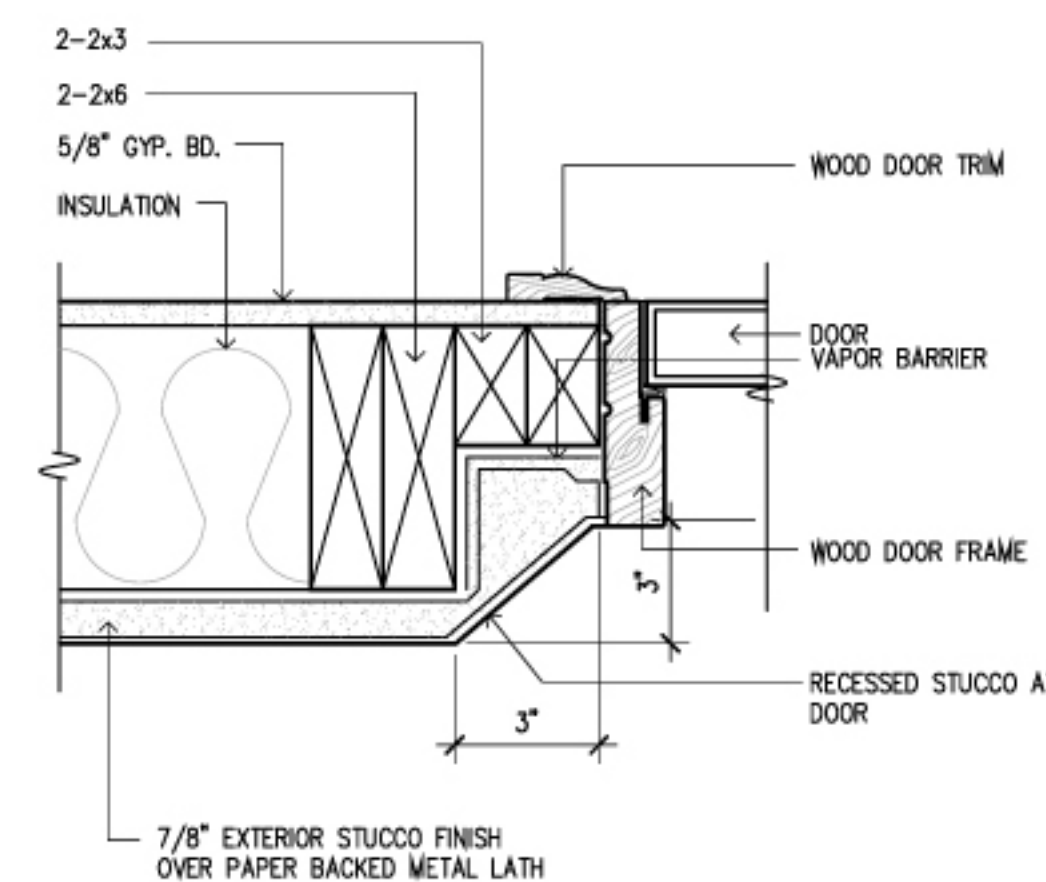
REFERENCE NOTES

- 1 FINISH GRADE
- 2 EXTERIOR STUCCO, SMOOTH FINISH, LA HABRA STUCCO, COLOR # 86 SANDSTONE
- 3 CONCRETE TILE ROOFING
EAGLE ROOFING : CAPISTRANO - 3814-SAN PABLO BLEND
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COLOR: ESPRESSO
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- 17 NOT USE
- 18 6' WROUGHT IRON HIGH GATE & FENCE
- 19 8X8 TERRACOTTA TILES BASE



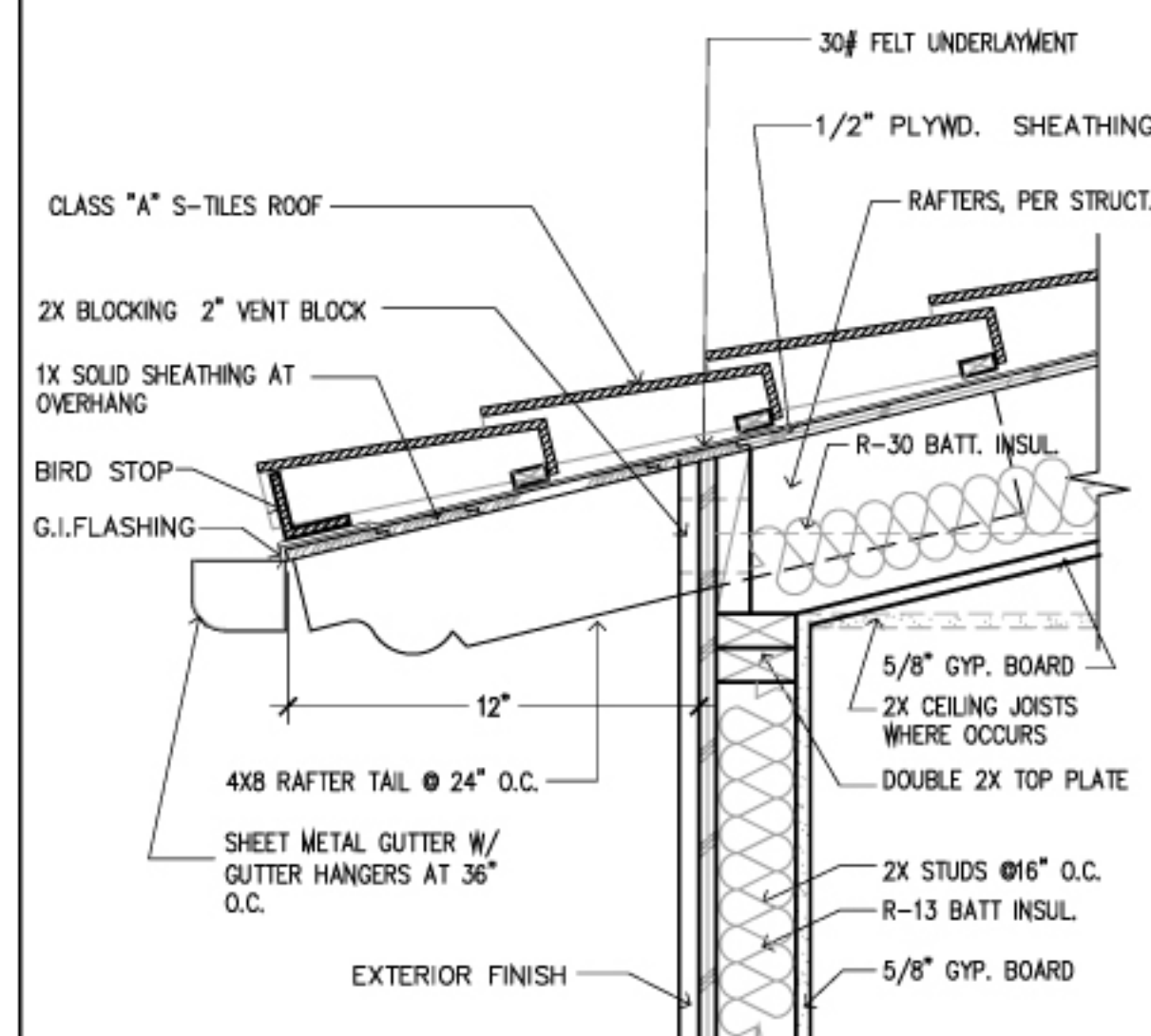
PARKING ACCESS GATE

SCALE
1/4" = 1'-0" 8



DOOR JAMB

SCALE
3/8" = 1'-0" 7





KWAN YIN MEDITATION TEMPLE

2632 ROYAL OAKS DR., DUARTE, CA 91010

Exhibit D

Exhibit D

General Property Information
Conditional Use Permit 17-04
2632 Royal Oaks Drive

PROPERTY CHARACTERISTICS

Property Address: 2632 Royal Oaks Drive

APN: 8604-008-029

Owner: Kwan Yin Meditation Temple, Inc.

Lot Area: **Project Site:** Approx. 20,600 square feet (0.47 acres)

Public Notice: A public hearing notice was published in the "*The Duartean*" and posted at Duarte City Hall, Public Safety Office, and Public Library on April 5, 2018. One hundred and ninety-two (192) public hearing notices were also sent to property owners within 600' of the subject property on April 7, 2018.

Environmental: This project is exempt from the California Environmental Quality Act (CEQA) pursuant to exemption in Section 15332, Class 32 of Title 14 of the California Code of Regulations. Therefore, no further environmental review is necessary in accordance with CEQA Guidelines and a Notice of Exemption has been prepared for this project.

General Plan: Low Density Residential

Zoning: R-1 Single-Family Residential

SURROUNDING ZONES & LAND USE

LOCATION	GENERAL PLAN	ZONING	LAND USE
North	Open Space; Park	Open Space	City Park
South	Low Density Residential	R-1 Single-Family Residential	Residential
East	Low Density Residential	R-1 Single-Family Residential	Water Company Utility Building
West	R-1 Single-Family Residential	R-1 Single-Family Residential	Residential

RESOLUTION NO. PC 18-06

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DUARTE APPROVING CONDITIONAL USE PERMIT 17-04, FOR A MEDITATION TEMPLE, LOCATED AT 2632 ROYAL OAKS DRIVE

WHEREAS, the applicant is requesting approval to operate a meditation temple, also known as a place of religious assembly, at 2632 Royal Oaks Drive; and

WHEREAS, a place of religious assembly is an allowed use in the R-1 zone with an approved conditional use permit; and

WHEREAS, the existing church was constructed in the 1970's and operated without a conditional use permit and prior to Section 19.60.140 being incorporated into the Duarte Development Code; and

WHEREAS, the proposed temple meets the development standards of the R-1 zone and complies with architectural design guidelines outlined in Chapter 19.44 of the Duarte Development Code; and

WHEREAS, the proposed meditation temple will not create an intensified use greater than the previous operation; and

WHEREAS the proposed meditation temple will be regulated under the requirements and conditions associated with this Resolution, which grants approval of a conditional use permit; and

WHEREAS, the Planning Commission has considered the analysis and recommendation provided in the staff report for Conditional Use Permit application 17-04 and all the information, evidence and public testimony received at the public meeting held on April 16, 2018 at 7:00 p.m. in the City Council Chambers;

NOW THEREFORE, the Planning Commission of the City of Duarte resolves as follows:

SECTION 1. That the Planning Commission approves PC Resolution 18-06 with conditions, a request for Conditional Use Permit 17-04 at 2632 Royal Oaks Drive.

SECTION 2. All the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

SECTION 3. The Planning Commission finds and determines as follows, findings for Conditional Use Permits, as set forth in DDC Section 19.114.040(B), as:

1. The proposed use is consistent with the General Plan;

The project conforms to the goals and objectives of the General Plan and the regulations of Chapter 19.10 (Residential Zones), including the intent and purpose, permitted uses, and other development standards. The use is also consistent with the land use goal by providing compatible and harmonious land uses by providing a mix of uses consistent with projected future social, environmental, and economic conditions.

2. The proposed use is allowed within the subject zone and complies with all other applicable provisions of this Development Code and the Municipal Code;

A place of religious assembly is allowed within the R-1 zone with an approved conditional use permit pursuant to Section 19.10.020 of the Duarte Development Code. Section 19.60.140 of the Duarte Development Code provides additional locational and operational criteria for religious facilities; however the criteria is not intended for facilities that are legally established.

Section 19.60.140 requires a minimum lot size of 40,000 square feet for the operation of a place of religious assembly. The subject property is a legally subdivided lot that has been developed for a church since 1972. Although the parcel size does not meet the minimum requirements, the temple has been designed to comply with the development standards of the R-1 zone with respect to lot coverage, setbacks, and height. The proposed lot coverage of roughly 20% is below the maximum allowed in the R-1 zone; a rear setback of 20 feet exceeds the minimum requirement for the R-1 zone, creating a sufficient buffer between the temple and adjacent residential properties to the south; and the overall height of the structure is less than the maximum allowed within the R-1 zone as well as consistent with a typical height of a single-story or two-story home.

Section 19.60.140 also requires a minimum of two access points on to the property. The requirement for two vehicle access points is directly associated with the minimum parcel size. Larger parcels will typically include a larger parking area that can accommodate multiple access points and drive aisles. Additionally, a religious facility developed on a larger parcel is more likely to generate a higher traffic volume that would make two access points necessary. The proposed temple will provide one access point to the parking area, which appears typical and sufficient for the parking area it will serve and the temple's operation. Although, only one access point is provided, it will lead to a 26-foot drive aisle that is designed for two-way traffic. The two-way drive aisle will allow adequate back up distance for parked vehicles and sufficient circulation for ingress and egress.

By adoption of this resolution, the temple will be regulated by a conditional use permit and will meet the requirements of Section 19.10.020 of the Duarte Development Code. Despite not meeting the lot size requirements, the project has been designed to comply with the Development Code to the greatest extent possible.

3. The design, location, size and operating characteristics of the proposed use are compatible with the allowed uses in the vicinity;

The project site is located within the R-1 zone and is currently improved with an existing church structure. The site is accessible from Royal Oaks Drive. The property is roughly 20,600 square feet, with a street frontage width of approximately 200 feet. The site is surrounded by single-family residential properties to the south and west. The structure is setback 20 feet from the south property line to create a sufficient buffer between the adjacent properties. The single-family homes to the west are not directly adjacent to the subject site, as they are located on the west side of Park View Court. Additionally, the parking lot area is located generally on the west side of the property, creating a large separation between the homes and the temple. The temple is designed in a Spanish architectural style that has resemblance to a single-family home. The scale and massing is

proportionate to the site and surroundings, and is consistent with the development standards allowed for a single-family home in that zone.

The temple operation is low intensity and limited by the size of the temple. The temple does not include large daily or weekly gatherings, as all gatherings occur on a scheduled basis throughout the year. Additionally, all activities will occur inside the temple buildings, keeping the activity and noise levels within a controlled area. Conditions of approval will be added to ensure the temple remains compatible with the surrounding uses.

4. Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use;

The general nature of the temple includes a low intense operation that is suitable for the proposed location and will not be detrimental to surrounding neighborhood. All activities will remain indoors, and the gatherings and special events will be limited in size and occurrence. The temple is available to members only and functions as a satellite location that is designed to accommodate elderly members. Daily operations will consist of individual and/or family consultations, or Buddhism studying. Conditions of approval will be imposed to ensure the operation does not create any adverse impacts on the City of surrounding community.

5. The subject site is:
 - a. Physically suitable in terms of design, location, operating characteristics, shape, size, topography, and the provision of public and emergency vehicle (e.g. fire and medical) access and public services and utilities; and
 - b. Served by highways and streets adequate in width and improvement to carry the kind and quantity of traffic the proposed use would likely generate.

The site is approximately 20,600 square feet in size, which is sufficient for the 3,787 square-foot temple and parking lot area. The property is in the R-1 zone along Royal Oaks Drive with one access point for ingress and egress. Onsite circulation is maintained with a two-way drive aisle that provides access to the parking stalls and sufficient turn around for safe exiting. The site is suitable for the temple operation and emergency vehicle access.

SECTION 5. The Planning Commission approves Conditional Use Permit 17-04 based on the findings listed in Section 3 and the conditions listed in "Exhibit A-1".

SECTION 6. The approval of Conditional Use Permit 17-04 by the Planning Commission is exempt from the California Environmental Quality Act (CEQA) pursuant to exemption in Section 15301, Class 1 of Title 14 of the California Code of Regulations. Therefore, no further environmental review is necessary.

APPROVED, AND ADOPTED by the Planning Commission of the City of Duarte at a regular meeting held on the 16th day of April 2018.

Paula Watson-Gardner
City of Duarte Planning Commission

ATTEST:

Craig Hensley, Community Development Director

CITY OF DUARTE
COUNTY OF LOS ANGELES } ss.
STATE OF CALIFORNIA

I, Craig Hensley, Secretary of the Planning Commission of the City of Duarte, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Duarte held on April 16, 2018, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Craig Hensley, Community Development Director

EXHIBIT A-1
Conditions of Approval
Conditional Use Permit 17-04
2362 Royal Oaks Drive

1. This approval is for the operation of the Kwan Yin Meditation temple (place of religious assembly) located at 2632 Royal Oaks Drive, as stated in the staff report and described in the applicant's business proposal statement, on file with the Planning Division.
2. The temple shall be accessible to members only and not intended for general public use.
3. No more than thirty (30) members and two (2) monks shall be on the premise at anytime for daily operations and/or special events/gatherings, unless approved by the Community Development Director.
4. The hours of operation for the temple shall be from 7:00 AM to 4:00 PM daily. The daily hours of operation shall be for incidental services conducted by the temple – consultation, study sessions, etc. and not intended for daily or routine events or large gatherings. Any request to alter these hours shall require approval from the Community Development Director prior to implementing. Such changes may require additional review from the Planning Commission.
5. The Duarte temple shall operate as the secondary/satellite location to the main temple located in Monrovia. In the event the main temple shall cease operation, and updated operation statement for the Duarte temple shall be provided to the Community Development Department for review to ensure the operation does not intensify or create adverse impacts on the surrounding neighborhood. Proper notification of the main temple ceasing operation shall be provided to the Duarte Community Development Department within a reasonable amount of time.
6. Special events and gatherings shall occur on a scheduled basis with a frequency no greater than once per month; no more than 30 members shall be in attendance at any special event or gathering, unless prior written approval is obtained from the Community Development Director. Such events or gatherings that are expected to occur more than once per month or exceed 30 members may require review and approval of a Special Event Permit.
7. All activities, services, gatherings, events, etc. shall remain indoors unless prior written approval from the Planning Division is obtained.
8. No more than two (2) monks shall reside on the property at all times. The monk residency area shall be restricted to the monk room as depicted on the approved floor plan on file with the Planning Division. Any changes to the size, location, or use of the monk room shall require approval from the Community Development Director prior to implementing. Such changes may require additional review from the Planning Commission.
9. The meditation hall and/or dining hall shall not be rented or used by outside organizations or the general public for weddings, private banquets, or similar. The use of the temple is for members only and shall not be considered or used as a venue for non-member social gatherings.

10. Any outdoor storage associated with this use is strictly prohibited.
11. In the event that the applicant (Kwan Yin Temple) vacates the subject property or a change of ownership occurs, the Conditional Use Permit in compliance with the provisions of Chapter 19.114 of the Duarte Development Code shall continue to be valid as it was originally approved, provided the new tenant/successor owner meets the requirements of this Conditional Use Permit for places of a religious assembly. In the event the Conditional Use Permit is not actively exercised for a continuous period of twelve (12) months, the Conditional Use Permit and approval shall become invalid.
12. Any expansion or modification to the approved use as part of this conditional use permit, including but not limited to any substantial changes to the floor plan, additional services, transition from satellite location to main temple, or other changes that may affect or intensify the business operation shall be reviewed by the Planning Division, and may require Planning Commission approval of a new conditional use permit.
13. The project shall comply with all regulations of the R-1 Single-Family Residential Zone, including the intent and purpose, permitted uses, development standards, and any other applicable sections of both the Duarte Development Code and Duarte Municipal Code.
14. The temple activities shall be maintained at reasonable audible levels, not to exceed the City Noise Regulations outlined in Chapter 9.68 of the Duarte Municipal Code. Any substantiated complaints regarding noise, sound or other audible impacts may require submittal of a Noise Study by the Community Development Director to address any noise concerns and propose appropriate measures as needed to comply with the City's noise ordinance. The Noise Study shall be prepared by a qualified consultant, to the satisfaction of the City. Continued concerns or violations may require a public hearing before the Planning Commission.
15. Any required building permits for this project must be issued within one-year from the date of approval from the Planning Commission or the application and approval shall expire.
16. This CUP may be called for review or revocation at any time by City Staff, City Council, or Planning Commission if a violation of the approved conditions is alleged, or if it is alleged that temple operation, or its patrons, are creating a public nuisance, as substantiated by the LA County Sheriff's Department, Public Safety Department, or any other City Department. The applicant and successors shall operate the subject premises in a safe and sanitary manner at all times. Such review of the CUP may include any remedy available to the City that will prevent negative impacts on the property and surrounding developments. Problems or continued/repeated violations of any Municipal Code, conditions of approval or any other governmental regulations may be grounds for initiation of proceedings for the revocation of this CUP before the Planning Commission pursuant to Section 19.152.030 of the Duarte Development Code.
17. This entitlement shall be contingent upon the privileges being utilized within 12 months from the effective approval date.
18. The decision of the Planning Commission may be appealed to the City Council within 15 days of the Planning Commission's decision. Said appeal must be in writing and filed with fees paid to the City Clerk's Office. The written appeal shall include reasons for the appeal.

19. That by acceptance of the approval of the project by the City, the applicant shall defend, indemnify and hold harmless the City of Duarte and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers and employees to challenge, set aside, void or annul the approval of the project or from any other action pertaining to this application or the granting of this conditional use permit which may be brought within the time period provided for such actions or challenges under applicable law.

RESOLUTION PC 18-07

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF DUARTE APPROVING SITE PLAN AND DESIGN REVIEW CASE 17-30, FOR CONSTRUCTION OF A NEW MEDITATION TEMPLE AND ASSOCIATED SITE IMPROVEMENTS, LOCATED AT 2632 ROYAL OAKS DRIVE

WHEREAS, Kwan Yin Temple is requesting approval to demolish the existing structure and construct two new single-story structures totaling 3,787 square feet along with additional site improvements that include new landscape, and a new parking lot at 2632 Royal Oaks Drive; and

WHEREAS, Table 7-2 listed in Section 19.122.030.B of the Duarte Development Code requires a recommendation from the Architectural Review Board and approval from the Planning Commission for nonresidential construction greater than 2,500 square feet; and

WHEREAS, on March 12, 2018, the Architectural Review Board reviewed the plans for ARB Case 2017-30 and recommended approval to the Planning Commission subject to conditions; and

WHEREAS, the Planning Commission of the City of Duarte ("Planning Commission") has considered the project proposal, which provides, among other provisions, for the construction of a 3,787 square foot meditation temple and associated site improvements at 2632 Royal Oaks Drive; and

WHEREAS, the Planning Commission has considered the analysis and recommendation provided in the staff report and all of the information, evidence and public testimony received at the public meeting held on April 16, 2018.

NOW THEREFORE, the Planning Commission of the City of Duarte resolves as follows:

SECTION 1. That the Planning Commission approves Resolution PC 18-07 with conditions of approval "Exhibit B" for the construction of two single-story structures totaling 3,787 square feet of building area located at 2632 Royal Oaks Drive.

SECTION 2. All of the facts set forth in the Recitals of this Resolution are true and correct and incorporated herein by this reference.

SECTION 3. The Planning Commission finds and determines as follows, findings for Site Plan and Design Review, as set forth in DDC Section 19.122.050 (E), as the proposed development is:

1. Consistent with the General Plan and is in compliance with all applicable provisions of the Duarte Development Code and all other City ordinances and regulations;

The project conforms to the goals and objectives of the General Plan and the regulations of Chapter 19.10 (Residential Zones), including the intent and purpose, permitted uses, and other development standards. The use is also consistent with the land use goal by maintaining a balanced community.

2. To be constructed on a parcel that is adequate in shape, size, topography, and other circumstances to accommodate the proposed development:

The project will consist of a total of 3,787 square feet of building area constructed on to an existing parcel that is roughly 20,600 square feet. The project will include two structures,

1,432 square feet and 2,355 square feet, both of which can be accommodated on the project site. Furthermore, the new addition meets the development standards of the Duarte Development Code.

3. In compliance with the applicable criteria specified in Subsection 19.122.040(D), and the site is suitable for the proposed development:
 - a. *Compatibility. The project will create an enhancement to the property and surrounding community. The project meets the requirements of the R-1 zone and has been designed to be compatible with design, scale and proportion of the surrounding developments.*
 - b. *Architectural Design and Detail. The project has been designed with unique elements that reflect a Spanish-style architecture. A variety of elements such as: smooth stucco, light tan colors, recessed windows, tile accents, among others, help define the architectural design and create a visual enhancement along Royal Oaks Drive. Furthermore, the project is consistent with the design guidelines outlined in the Duarte Development Code.*
 - c. *Landscape, Lighting, Parking, Signs, and Other Design Details.*
 - *Equipment and Utilities. All new service and utilities will be installed in a manner that screens them from the public right-of-way. New equipment will be installed within attic area or ground-mounted in rear or side of the property, or underground, and screened from the public right-of-way. Roof-mounted equipment will not be allowed.*
 - *Fences/Walls. The project will include repairs and improvements to the existing perimeter block wall, and the construction of a new block wall along the south and east property line. A block wall plan will be required for review and approval.*
 - *Landscaping. The project includes new landscape improvements throughout the property, around the new structures and the perimeter of the parking lot. All landscape proposals will require separate review and approval to ensure landscape areas have been designed to meet the intent and purpose of Chapter 19.40 (Landscaping) of the Duarte Development Code, and will complement the project by providing a welcoming appeal along Royal Oaks Drive.*
 - *Lighting. The project includes new parking lot lighting and exterior wall-mounted light fixtures. The exterior lighting will require separate review and approval to ensure compliance with the performance standards for outdoor lighting outlined in the Duarte Development Code. The exterior lighting will be required to meet energy efficiency requirements and contain a decorative design that complements the architectural style of the property. A separate review and approval will be required.*
 - *Parking. The project exceeds the minimum parking requirements for places of religious assembly, as outlined in the Duarte Development Code. A total of 25 parking stalls are provided, which includes 2 additional stalls intended for monk residence. The project will improve the on-site parking and circulation with the construction of a new parking lot that includes 90-degree parking and a 26-foot wide two-way drive aisle. The drive aisle will provide access to the parking area and adequate turn-around for safe exiting. There are no foreseeable issues with parking.*
 - *Signs. The project does not include the approval of any signs. All new signs will require separate review to ensure compliance with the Duarte Development Code.*

4. Designed and arranged to provide adequate consideration to ensure the public health, safety, and general welfare, and to prevent adverse effects on neighboring property.

The site is sufficient in size and shape to accommodate the proposed use and operation. The project site is in the R-1 zone surrounded by residential uses. The scale and operation of the temple is consistent with what the R-1 zone would allow. With the conditions of approval imposed on the project it is unlikely to cause any significant impacts to the surrounding uses.

SECTION 4. The Planning Commission approves ARB Site Plan and Design Review Case 2017-30 based on the findings listed in Section 3 and the conditions of approval listed in “Exhibit B-1”.

APPROVED, AND ADOPTED by the Planning Commission of the City of Duarte at a regular meeting held on the 16th day of April 2018.

Paula Watson-Gardner
City of Duarte Planning Commission

ATTEST:

Craig Hensley, Community Development Director

STATE OF CALIFORNIA
COUNTY OF LOS ANGELES } ss.
CITY OF DUARTE

I, Craig Hensley, Community Development Director of the City of Duarte, do hereby certify that the foregoing Resolution was adopted at a regular meeting of the Planning Commission of the City of Duarte held on April 16, 2018, by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Craig Hensley, Community Development Director

EXHIBIT B-1
Conditions of Approval
Site Plan & Design Review Case 17-30
Construction of a New Meditation Temple at 2632 Royal Oaks Drive
(Kwan Yin Temple)

1. This approval is for the construction of a new meditation temple and associated site improvements, as noted on the approved plans on file with the Community Development Department. The construction shall be in substantial compliance with all components of the approved plans.
2. The land use and other operational characteristics of the meditation temple are not included with this approval. This Site Plan and Design Review application shall become effective contingent upon approval of the associated conditional use permit application. In the event the conditional use permit application for the use and operation of the meditation temple is not approved, this site plan and design review approval shall become void.
3. The final tile selection shall be subject to the approval of the Community Development Director prior to installation. The tile shall be designed to accentuate the overall project with a contrasting color in a glazed finish. The size of the tile shall be suitable/proportionate with the approved locations. A precast trim cap shall be included with the tile accent in a complementary or matching color. Details, samples, and plans as necessary shall be provided to the Community Development Department for review.
4. The recessed window depth shall be no less than ten inches on the two pop-out features on the north elevation of the Dining Hall. The final design of all windows, including the depth, style, trim, colors, among others, shall be subject to the approval of the Community Development Director prior to installation. A window plan and schedule with all the necessary details, cut-sections, etc., shall be provided to the Community Development Department for review.
5. Exterior lighting, including freestanding and wall-mounted, shall require final approval from the Planning Division prior to issuance of building permits. Lighting fixtures shall be of high quality and decorative form and shall be designed to prevent offsite glare. A lighting plan with a photometric analysis prepared by licensed engineer or approved equivalent shall be provided to the Planning Division for review and. The lighting plan shall include cut-section drawings, manufacture brochure, illumination levels/lighting distribution, and any additional information as needed. Separate review fees may apply.
6. All elevations of both buildings shall be reviewed and approved by the Planning Division prior to permit issuance. Final review shall include approval of the color palette, placement of colors, and all finished building materials, including but not limited to the type, color, and/or placement of all stucco, trims, cornices, tile, among others. All finished building materials incorporated into the building design shall be of high quality and high durability, and shall take into consideration locations that

may be more vulnerable to damage or potential maintenance concerns.

7. Landscape improvements are not included with this approval. All landscape and irrigation improvements shall require separate review and approval prior to installation to ensure compliance with the landscape and water conservation guidelines outlined in Chapter 19.40 of the Duarte Development Code. Separate review fees may apply.
8. All signs shall require separate approval from Planning Division prior to installation. A detailed sign package with cut sheets shall be provided for review. All signs shall be in compliance with the sign regulations outlined in the Duarte Development Code. Contact the Planning Division for more information.
9. A fence and wall plan shall be submitted to the Planning Division for review prior to installation. Fences/gates shall contain a decorative design using a high-quality material such as wrought-iron. All walls shall be constructed to provide security and separation between adjacent properties. Final approval of the location, height, design etc. of all fences and walls shall be required by the Planning Division.
10. The parking lot shall be constructed in substantial compliance with the approved plans and the requirements of the Duarte Development Code, including parking stall width and depth, aisle depth, and adequate turn-around areas for efficient circulation. A separate parking lot plan shall be submitted to the Public Works Division and Planning Division for review.
11. A separate permit shall be required for closing the driveway approach along Royal Oaks Drive prior to beginning any work. The driveway approach shall be replaced with sidewalk, curb, gutter, in compliance with the City standard to the satisfaction of the Public Works Division. Additional offsite improvements, including but not limited to, sidewalk replacement, curb and gutter repairs, etc. may be included as part of the project scope of work. Separate review fees may apply. Contact the Public Works Division for more information.
12. Prior to the issuance of a permits, the applicant shall submit a Low Impact Development (LID) plan to the Community Development Director for review. The LID plan shall be prepared by a California registered civil engineer, architect, or landscape architect knowledgeable about storm-water management issues, and shall comply with Section 6.15.140 of the Duarte Municipal Code. All LID work must be completed prior to occupancy.
13. A drainage plan and grading plan shall be submitted to the Public Works Division for review prior to beginning any drainage and/or grading activity. The grading plan shall address all grading issues and required improvements on the property. Contact the Public Works Division for more information.
14. Follow the list of Best Management Practices (BMP's) of the National Pollution Discharge Elimination System (NPDES), including recommendations from the City grading inspector.

15. The project shall comply with all the regulations of the R-1 Single Family Residential zone, including the intent and purpose, permitted uses, development standards, and any other applicable sections from the Duarte Development Code and Duarte Municipal Code.
16. The project is considered a level one (1) project, according to Chapter 19.52 (Sustainable Development Practices) of the Duarte Development Code. The project will be reviewed for minimum compliance with the requirements outlined in this chapter, including but not limited to: solar access protection, energy efficient outdoor lighting, landscaping efficiency, etc.
17. This project is subject to the requirements of Chapter 6.10 of the Duarte Municipal Code, Diversion and Demolition Waste. Prior to the issuance of any permits, the applicant shall submit a Construction and Demolition Diversion Plan and required security deposit. Contact the Planning Division for more information.
18. Any revisions to the site plan, elevations, colors, and materials in addition to those listed as conditions of approval, shall be reviewed and approved by the Planning Division prior to installation; such changes may require review and approval from the Architectural Review Board.
19. Mechanical equipment and related ducts, vents and other apparatus, including HVAC, shall be screened from public view. Vents, pipes, caps, hoods, and other roof penetrations that must be installed on the roof shall be painted or finished to match the roof color. Ground mounted equipment shall be shielded from public view by landscaping and/or screen walls, subject to approval from the Planning Division.
20. All utilities for direct service to the project shall be installed underground and concealed from view.
21. Plans and all required plan check fees shall be submitted to the Community Development Department for Building & Safety plan check prior to construction. Approval from Building & Safety shall be obtained prior to the issuance of permits. Construction drawings, including the site plan, elevations, and colors shall be consistent and in substantial compliance with the conceptual approval and any required conditions of the Planning Commission.
22. Prior to issuing permits, any required school fees shall be paid directly to Duarte Unified School District and proof of payment provided to the City. Contact Duarte Unified School District at (626) 599-5000 for more information.
23. Any and all correction notice(s) generated through the plan check and/or inspection process is/are hereby incorporated by reference as conditions of approval and shall be fully complied with by the owner, applicant, and all agents thereof.
24. Building permits for this project must be issued within one-year from the date of final approval and may be extended in compliance with Section 19.130.070 of the Duarte Development Code.

25. The property owner, contractor, and all representatives shall comply with applicable City noise ordinances. Construction activities, deliveries and haul-off will only be permitted from 7:00 a.m. to 7:00 p.m., Monday through Saturday. No construction related idling of engines or other disturbances shall occur outside of noted work hours.
26. A final inspection shall be made by the Planning Division prior to final sign-off of any building permits to ensure that all conditions have been met.
27. The decision of the Planning Commission may be appealed to the City Council within 15 days from the date of approval. Said appeal must be in writing and filed with the Community Development Department (DDC 19.144). The written appeal shall include reasons for the appeal and the applicable fee.
28. That by acceptance of the approval of the project by the City, the applicant shall defend, indemnify and hold harmless the City of Duarte and its agents, officers and employees from any claim, action or proceeding against the City or its agents, officers and employees to challenge, set aside, void or annul the approval of the project or from any other action pertaining to this application or the granting of approval which may be brought within the time period provided for such actions or challenges under applicable law.